

AGENDA

DOWNTOWN DESIGN REVIEW BOARD

Monday, April 10, 2017, 5:00 PM.
City of Maryville Municipal Center
City Council Chamber
400 W. Broadway Ave.



Call Meeting to Order

Roll Call: Staff

Review Meeting Minutes: February 13, 2017

Comments from Public on Non-Agenda Items

Applications:

1. Scott Falvey is requesting approval to make changes to the façade at 217 E. Broadway Avenue
2. Bill Weigel is requesting approval of a new Weigel's Store at 610 S. Washington Street.

Comments from the Board

Adjournment

MINUTES
MARYVILLE DOWNTOWN DESIGN REVIEW BOARD
MONDAY, FEBRUARY 13, 2017
5:00 PM

CALL MEETING TO ORDER: Chair Horn called the meeting to order at 5:06 p.m.

ROLL CALL: A quorum was present.

<u>Members Present:</u>	<u>Members Absent:</u>	<u>City Staff Present:</u>	<u>Others Present:</u>
Christy Alexander	Andy White	Dave Prichard	Valerie Nipper
Gary Best	(Vacant Seat)	Michelle Portier	Gena Tussey
Teresa Horn	(Vacant Seat)	Chad W. Davis	David Laney
Sarah Shepherd		Scott Poland	Concerned Citizens
Anita Blatnik			
Wendy Carson			

MOTION TO APPROVE THE MINUTES: The minutes from the December 12, 2016, meeting were unanimously approved after a motion by Board member Best and a second by Board member Carson to approve them as submitted.

COMMENTS FROM THE PUBLIC ON NON-AGENDA ITEMS: Chairman Horn asked if there were any comments from the public regarding non-agenda items. There being no comments on non-agenda items Chairman Horn called for the first item.

Business Items:

- 1. Request for approval to relocate signage at 109 E. Broadway Avenue.**
Applicant: Paula Osborn, owner of Roost Design.

Applicant was not present so the board moved on to the next item on the agenda. At the end of the meeting, Director Prichard asked the board if they would be willing to hear the proposal without the applicant. This was heard at the end of the meeting.

Presentation: Ms. Portier explained the proposal to move the perpendicular sign from the E. Broadway side to the E. Harper side of the building. The sign itself was already approved and is still within the city's sign requirements. The request is just to move the sign.

ACTION TAKEN:	Motion:	Board member Alexander made a motion to approve the signage relocation.
	Second:	Board member Blatnik
	Vote taken:	The motion was unanimously approved by the Board on a roll call vote.

2. Request for approval of signage proposal at 333 E. Broadway Ave. Applicant: Valerie Nipper on behalf of Ruby Tuesday

Presentation: Ms. Nipper presented the signage proposal and detailed plans for an architectural accent consisting of a rectangular strip parallel to and aligned with the windows that would change colors depending on seasons or special events, remaining white during normal activity giving off a subtle glow. During discussion of the signs, planning staff member Portier clarified that the signage proposal follows the ordinance in that the lit signs are channel letters, which are allowed by right.

ACTION TAKEN: Motion: Board member Best made a motion to approve the proposed signage and architectural feature.
Second: Board member Shephard
Vote taken: The motion was unanimously approved by the Board on a roll call vote.

3. Request for approval of colors used on the building and a proposal to relocate signage at 105 N. Court St. Applicant: Gena Tussey, owner of Station House Photography.

Presentation: Ms. Tussey explained they painted before seeking approval due to rotting wood and graffiti on the exterior. She introduced the colors used on the exterior of the building. The brown color is close to the stained color pre-paint; the aqua color is the color of the business logo. Board member Carson questioned the aqua color used as an accent on the trim. The board discussed the pre-approved palette, but applicants are not required to use colors from the palette. Those who want to use their own colors can do so but must still seek approval from the DDRB.

ACTION TAKEN: Motion: Board member Alexander made a motion to approve the signage relocation and paint colors used on the facade.
Second: Board member Blatnik
Vote taken: The motion was approved 5 to 1 on a roll call vote, with Board member Carson voting to disapprove.

4. Request for approval of window replacement and colors used on the building comprising 316-320 N. Court St. Applicant: David Laney, owner

Presentation: Mr. Laney explained that he painted without knowledge of the DDRB approval process. He took down the boards in the window frames, installing new windows, continuing the fenestration around the entire front of the façade, as originally designed. He repaired and reused the awnings, and painted the building as part of his renovation. The applicant believes the deep red and gold colors are

the original colors used on the building. During the discussion, Board member Blatnik questioned the amount of window signage used. Development Services Director Dave Prichard confirmed that the window sign percentage allowed is 30%.

ACTION TAKEN: Motion: Board member Shepherd made a motion to approve the new windows and paint colors used on the facade.
Second: Board member Alexander
Vote taken: The motion was unanimously approved by the Board on a roll call vote.

5. Request for approval of signage proposal for 150 W. Church St. Proponent: Scott Poland, Development Services Staff

Presentation: Mr. Poland explained that the applicant is using the same brick base that housed the Ruby Tuesday monument sign. Altar'd State proposes channel letters on the monument, which are allowed by right.

ACTION TAKEN: Motion: Board member Alexander made a motion to approve the signage proposal.
Second: Board member Best
Vote taken: The motion was unanimously approved by the Board on a roll call vote.

Staff Comments: Director Prichard confirmed for the board that this was the last time the DDRB would be reviewing signs, as the second reading of ordinance amendment removing signage from their responsibilities occurs before the board's next meeting.

Board Member Comments: Chair Teresa Horn noted there were two non-compliant issues:

1. Blount County State License building (located at 205 N. Cusick St.) is undergoing renovations but has not been reviewed by DDRB. Development Services staff will investigate this issue.
2. Mural on a building (located at 205 Court St. facing Cusick St.) has not been reviewed by DDRB. Development Services has already received a complaint about this mural and is sending the owner a non-compliant letter.

Chair Teresa Horn recognized Board member Alexander for her service on the board, as Alexander is stepping down from her membership. Chair Horn announced that she, too, was stepping down, relinquishing her membership and post as Chair of DDRB. The Board will need to vote for a new chair at the next meeting.

Adjournment: There being no other business, the meeting was adjourned at 6:00 p.m.

Approved: _____
Vice Chairman Gary Best



Department of Development Services Staff Report | April 10, 2017

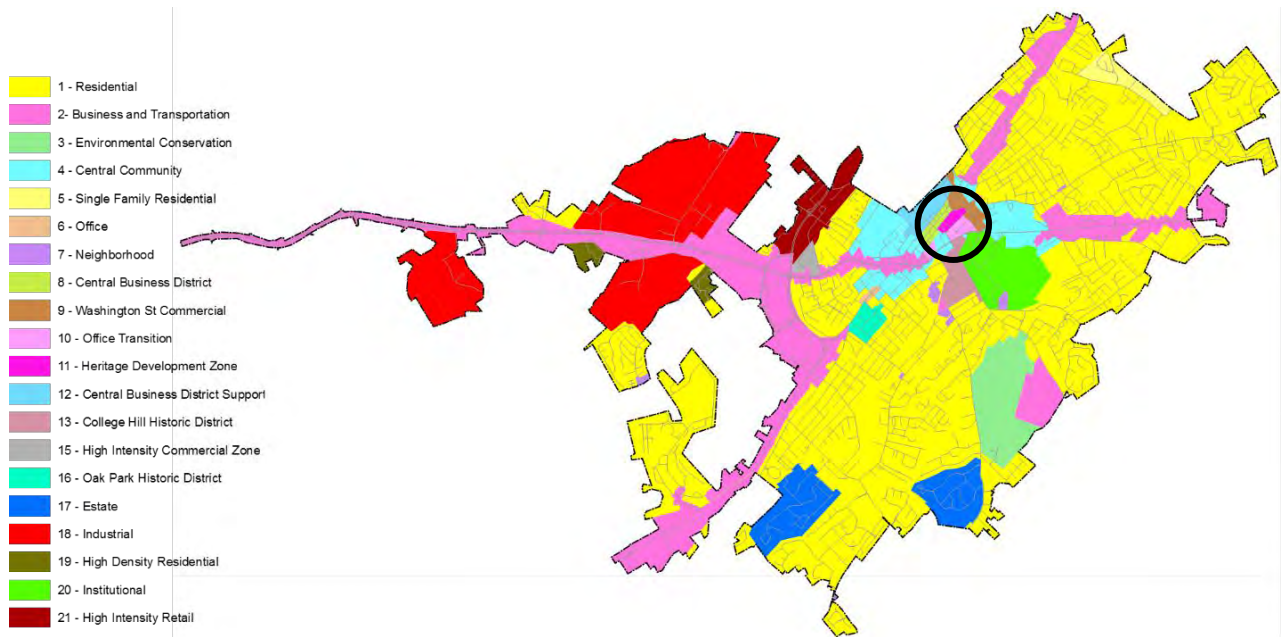
FOR: Maryville Downtown Design Review Board

INTRODUCTION: Applicant is proposing façade alterations to the building at 217 E. Broadway Ave.

Proponent: Scott Falvey

Location: 217 E. Broadway Ave. Maryville, TN 37804; Central Business District

Lot size: 0.16 acres



City of Maryville Zoning Map

REFERENCE

Downtown Design Review Board [§14-203 (8)]: The Downtown Design Review Board is an advisory committee to the Maryville Regional Planning Committee.

Downtown Design Review Board Basic Powers [§14-203 (8)]: The Downtown Maryville Design Review Board shall review all conceptual plans for construction, alteration, repair, rehabilitation, relocation of any structure, or demolition of any historically significant structure, in the downtown districts for compliance.

Zoning District [§ 14-209 (4)(e)]: Central Business District Windows and Doors:

- (i) Spacing and size of fenestration shall match that of the other buildings on the same block that were built before 1950;
- (ii) Windows shall be square or vertical in orientation;
- (iii) All fenestration, including doors and windows above grade shall be indicative of the period of construction of the building;
- (iv) Sill and lentils for windows are encouraged;
- (v) True divided light or simulated divided light units are permissible only;

Zoning District [§ 14-209 (4)(f)]: Central Business District Facades:

- (i) Facades shall be "pedestrian scale." Pedestrian scale is defined as a size (of building, space) that a pedestrian perceives as not dominating or overpowering;
- (ii) Substantial removal, alteration, or covering of original facades shall not be permitted;
- (iii) Facades composed of brick or masonry must be re-pointed and cleaned to a condition indicative of their original finish;
- (iv) In cases of extreme deterioration, facades may be repaired and painted; paint colors must be of historic precedent, compatible with adjacent properties and approved by the Downtown Maryville Design Review Board. Applicants must submit paint chips, brick samples, awning fabric samples, etc. to the Review Board for all proposed new paint projects, building construction and facade alteration; and
- (v) Awnings, may be applied and are encouraged, but must be solid or two-color, angled or scalloped type only and compatible with the architecture and color palette.

Zoning District [§ 14-209 (4)(g)]: Central Business District Materials:

- (i) Natural stone, brick, wood, and fiber-cement siding that resembles horizontal lap siding should be used for all buildings in the Central Business District. Cut stone is allowed while river rock and stacked stone are not allowed, as they are not considered consistent with the buildings downtown;
- (ii) Veneer materials are not allowed (i.e., vinyl siding, metal facade covering, stucco, and synthetic stucco).
- (iii) Synthetic materials and stucco may only be allowed on a limited basis for accent, trim, and cornices.

Zoning District [§ 14-209 (4)(i)]: Central Business District Accessories/Details:

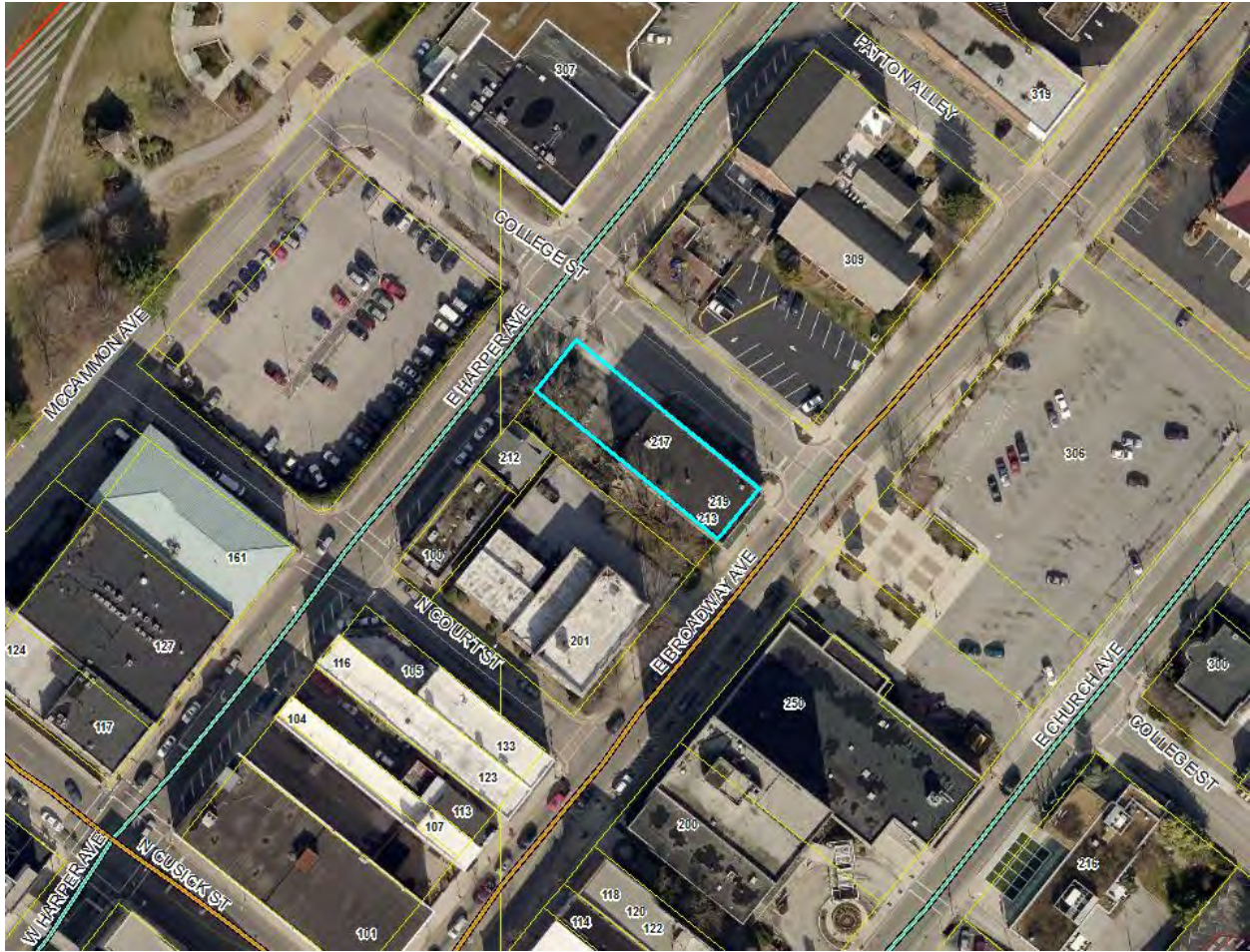
- (i) Details such as shutters, balconies, overhangs, exterior lighting, security lighting, etc. must be reviewed and approved by the Downtown Maryville Design Review Board as compatible with the original building facade;
- (ii) Deteriorated architectural features shall be repaired rather than replaced. The new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplication of features substantiated by historic, physical, or pictorial evidence; and
- (iv) Ancillary structures and equipment: HVAC equipment, above ground grease traps, electric generators, fuel tanks, trash compactors, dumpsters, garbage containment areas, storage bins, and similar ancillary structures and equipment shall be screened from public roads with landscaping, walls, or fences. Proposed screening, ancillary structures, and equipment shall be submitted for board review before installation.

Permissible Use [§14-210]: N.A.

Nonconforming Use [§14-208]: N.A.

FACTS:

- The building at 217 E. Broadway was built in 1910.



Location of 217 E. Broadway Ave.



Street view of 217 E. Broadway (from E. Broadway Ave.)

- The existing E. Broadway Ave. façade is comprised of brick, corrugated metal, and tile.
- The proposed changes to the E. Broadway Ave. façade include:
 - Vine removal
 - Brick cleaning and repair
 - Re-pointing of mortar joints with matching mortar
 - Repair and paint on existing pressed metal trim
 - Removal and replacement of parapet coping
 - Removal of the awnings
 - The existing storefront will be removed and reconfigured using a painted wood glazing system
 - Second floor windows will be replaced with clad-wood windows
 - Tile will be installed along the ground to mask the exposed façade at the slope



Street view of 217 E. Broadway (from N. College St.)

- This façade is all brick.
- The proposed changes to the N. College St. façade include:
 - Brick cleaning and repair
 - Re-pointing of mortar joints with matching mortar
 - Removal and replacement of parapet coping
 - All windows will be replaced with clad-wood windows
 - Two additional matching windows will be added on the main floor



Street view of 217 E. Broadway (from E. Harper Ave.)

- This façade is all brick. There is a section at the bottom that has been painted.
- The proposed changes to the E. Harper Ave. façade include:
 - Brick cleaning and repair
 - Re-pointing of mortar joints with matching mortar
 - The painted portion of the brick will be repainted
 - Removal and replacement of parapet coping
 - Removal of the awning
 - The existing storefront will be removed and replaced
 - The previously filled window to the right of the storefront will be converted back into a window.
 - The previously filled window on the far right of the basement level will be removed and repaired to match the wall
 - The metal stairs will be removed and replaced with a new painted steel and wood staircase that extends to the top floor
 - The main level door will be replaced
 - The louver panel will be removed and the wall repaired
 - The far right window on the upper floor will be converted into a door to allow ingress/egress
 - All other windows will be replaced with clad-wood windows



View of facade facing the vacant lot

- This façade is all brick.
- The proposed changes to the façade facing the vacant lot include:
 - Brick cleaning and repair
 - Re-pointing of mortar joints with matching mortar
 - Removal and replacement of parapet coping
 - All windows will be replaced with clad-wood windows
 - Four additional matching windows will be added on the main floor
 - An 11' by 17' 8" painted wood deck is shown on the vacant lot on the E. Harper Avenue end of the building
- The two paint colors are from the Benjamin Moore Historic Collection; however, Rockport Gray is not in the preapproved color palette.
- The owners have submitted a plat that removes the lot line between the building and the adjacent vacant lot.
- The dumpster is located in the corner of the parking lot, and is not currently screened. The applicant is proposing an enclosure and landscaping to screen the dumpster.
- HVAC condensers will be located along the building on the vacant lot side and will be screened by landscaping.



Current dumpster location

STAFF COMMENTS:

- The vine removal and restoration of the brick and trim will improve the overall aesthetic of the building.
- Replacing the corrugated metal on the façade with painted wood panels will be more historically appropriate.
- Removal of the awnings and the addition of the transom windows adds to the historic feel of the structure.
- The use of paneled wood trim introduces design elements at the pedestrian scale.



APPLICATION FOR THE DOWNTOWN MARYVILLE DESIGN REVIEW BOARD

APPLICATION REQUIREMENTS: Completed applications must be received by the Development Services Department by the third Monday of each month in order to be placed on the next agenda. Prior to submitting an application, applicants are encouraged to schedule a meeting with a Development Services Department staff member. If you have any questions or would like to schedule a pre-submittal meeting, please contact the Development Services Department at (865) 273-3500.

Applicants must include a written description of all proposed work and other supporting information, for example, color copies, photographs, drawings, building elevations, product brochures, paint chips, etc. Digital (pdf) copies of applications are preferred; faxed applications will not be accepted. Emailed applications and supporting documentation will be accepted at development@maryville-tn.gov. If submitting a paper application, applicants should provide ten copies of the application and all supporting documentation. These may be submitted in person or by mail to: Development Services Department, City of Maryville, 416 W. Broadway Ave., Maryville, TN 37801.

MEETING TIME / PLACE / ATTENDANCE: The Board meets on the second Monday of each month at 5:00 p.m. in the Maryville Municipal Center's Council Chambers (on the Middle Level), located at 400 W. Broadway Ave. Applicants must attend the meeting to present their applications and answer questions.

ZONING REGULATIONS: Applicants should reference the zoning regulations applicable to their property prior to preparing their application. The zoning regulations are available at the offices of the Development Services Department and online at the following address:
<http://www.ci.maryville.tn.us/Rachael/DRBzones.pdf>

2017 MARYVILLE DOWNTOWN DESIGN REVIEW BOARD SCHEDULE	
Meeting Date	Submittal Date
January 9	December 19
February 13	January 16
March 13	February 20
April 10	March 20
May 8	April 17
June 12	May 15
July 10	June 19
August 14	July 17
September 11	August 21
October 9	September 18
November 13	October 16
December 11	November 20

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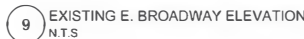
APPLICATION FOR MARYVILLE DOWNTOWN DESIGN REVIEW BOARD

Summary of Proposed Work:

This project is primarily a tenant build-out project with limited changes to the exterior. The intent is to keep the exterior of the building unchanged as much as possible while updating it where necessary to satisfy the demands of a modern office building. Where changes are made, the intent is for the changes to support the historic character of the existing building.

The exterior changes are as follows:

- 1) Exterior masonry: Existing vines will be removed, damaged mortar joints will be re-pointed using a mortar that matches the adjacent mortar in type and color. Brickwork will be cleaned.
- 2) Existing Pressed metal trim at E. Broadway Elevation: Existing trim/cornice will be stabilized and repainted.
- 3) Parapet Coping: New pre-finished metal parapet copings will be installed.
- 4) Existing storefront, awning & entrances along E. Broadway will be removed and replaced with more historically appropriate painted clad-wood glazing system.
- 5) Existing windows will be replaced with new, thermally insulated, clad-wood windows. The new windows will be of the same size and configuration of the existing windows. Based on what is commercially available today, there will be some variation from the existing configuration, but the intent is to match the existing as closely as possible with what is available.
- 6) Some new windows will be added to provide natural light in office that would otherwise not have any. These new windows will match the size and configurations of existing windows where possible.
- 7) The existing steel stair from the rear of the building will be removed and replaced with a new painted exit-egress stair that will extend to the top floor.



NOTE:
REPLACE EXISTING WINDOWS WITH NEW
INSULATED CLAD WOOD WINDOWS,
TYPICAL THROUGHOUT, UNLESS NOTED
OTHERWISE.

REMOVE EXISTING COPING AND INSTALL NEW PRE-FINISHED METAL COPING ON NEW 2X PAINTED WOOD BLOCKING. LAP MEMBRANE ROOF SYSTEM OVER TOP OF BLOCKING PRIOR TO INSTALLING NEW COPING TO MATCH PT1

EXISTING BRICK TO BE RE-POINTED
AND CLEANED. COLOR TO REMAIN
UNCHANGED

REPAINT EXISTING PAINTED MASON
TO MATCH PT1

REMOVE EXISTING INFILL OF EXISTING WINDOW ROUGH OPENING AND INSTALL NEW WINDOW SIZED FOR EXISTING R.O.

NEW THERMALLY BROKEN
STOREFRONT SYSTEM AND DOOR
WITH KYNAR 500 FINISH AND 1"
LOW-E INSULATED GLAZING.
PROVIDE TEMPERED GLASS WHERE
REQUIRED BY CODE

NEW DECORATIVE
WOOD CLADDING
PAINTED TO MATCH
PT1

3 REAR PARKING LOT ELEVATION
3/16" = 1'-0"

~~NEW AWNING BY OWNER~~
~~COLOR TO MATCH [PT2]~~

—NEW STEEL AND PAINTED
WOOD STAIR TO RECEIVE A
PAINTED FINISH TO MATCH
PT2

NEW PAINTED WOOD
EXTERIOR DECK TO RECEIVE
A PAINTED FINISH TO MATCH

2
A-202

2 EXIT DOORS ELEVATION
3/16" = 1'-0"

REMOVE EXISTING COPING AND
INSTALL NEW PRE-FINISHED METAL
COPING ON NEW 2X PAINTED WOOD
BLOCKING. LAP MEMBRANE ROOF
SYSTEM OVER TOP OF BLOCKING
PRIOR TO INSTALLING NEW COPING
COLOR TO MATCH [PT1]

NEW GUTTER AND DOWNSPOUT
TO MATCH **PT1**

NEW CLAD WOOD DOOR AND TRIM,
HEIGHT TO MATCH FORMER ROUGH
OPENING - SEE DEMOLITION PLANS
AND SEE DIMENSIONED FLOOR PLANS

NEW DECORATIVE WOOD CLADDING
PAINTED TO MATCH PT1

— REMOVE EXISTING LOUVER. PATCH BRICK AS NEEDED TO RECEIVE NEW DOOR SYSTEM AND TRIM.

NEW CLAD WOOD DOOR AND TRIM,
HEIGHT TO MATCH FORMER ROUGH
OPENING - SEE DEMOLITION PLANS
AND SEE DIMENSIONED FLOOR PLANS

REPAINT EXISTING PAINTED MASONRY
TO MATCH [PT1]

— REMOVE EXISTING WINDOW OPENING.
REPAIR WALL AS REQUIRED.



NOTE:
REPLACE EXISTING WINDOWS WITH NEW
INSULATED CLAD WOOD WINDOWS,
TYPICAL THROUGHOUT, UNLESS NOTED
OTHERWISE.

EXISTING BRICK TO BE RE-POINTED
AND CLEANED. COLOR TO REMAIN
UNCHANGED

ADJACENT LOT

NEW PAINTED WOOD ———
EXTERIOR DECK TO RECEIVE
A PAINTED FINISH. COLOR TO
MATCH [PT2]

REMOVE EXISTING COPING AND INSTALL NEW
PRE-FINISHED METAL COPING ON NEW 2X
PAINTED WOOD BLOCKING. LAP MEMBRANE
ROOF SYSTEM OVER TOP OF BLOCKING PRIOR
TO INSTALLING NEW COPING. COPING PAINTED
TO MATCH PT1

CLEAN, PAINT AND RESTORE DECORATIVE ELEMENTS AS REQUIRED. REPLACE ANY DAMAGED BLOCKING AT TRIM WITH NEW PRESSURE TREATED WOOD BLOCKING. STABILIZE METAL WITH RUST NEUTRALIZING PRIMER AND APPLY NEW PAINT FINISH TO MATCH PT1

AS NEEDED

NEW DECORATIVE WOOD
CLADDING PAINTED TO
MATCH PT1

1 EAST BROADWAY AVENUE ELEVATION
3/16" = 1'-0"

EXTERIOR RATED PORCELAIN —
TILE ON LATICRETE. COLOR
TO MATCH 6/DR82

* INDICATES TEMPERED GLAZING. PROVIDE TEMPERED IMPACT RESISTANT GLASS AS REQUIRED PER 2012 IBC SECTION 2406.

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RENOVATIONS FOR:
217 E. BROADWAY AVENUE

MARYVILLE, TENNESSEE, 37804

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Sheet Title

**BUILDING
ELEVATIONS**

Project Number 16116	Sheet Number A-101
Date 2017-03-20	



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RENOVATIONS FOR:
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Sheet Title

**BUILDING
ELEVATIONS**

Project Number 16116	Sheet Number A-102
Date 2017-03-20	

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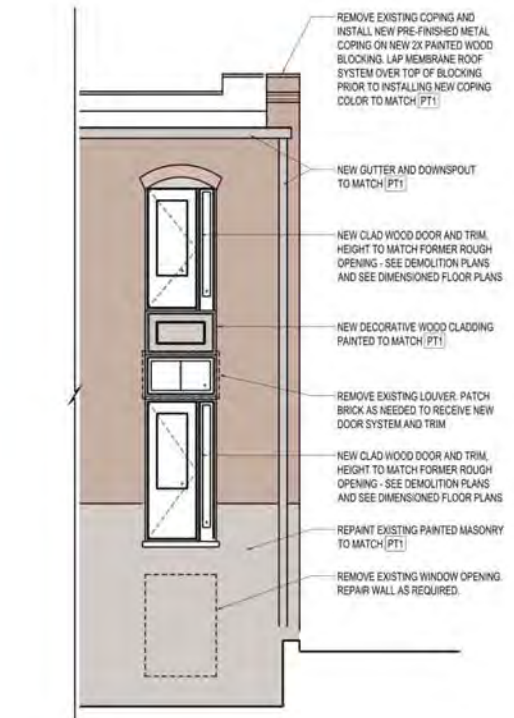
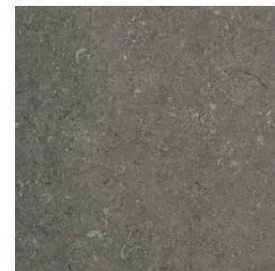
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Sheet Title

**BASEMENT
FLOOR PLAN**

Project Number 16116	Sheet Number A103
Date 2017-03-20	

A103



* INDICATES TEMPERED GLAZING. PROVIDE TEMPERED (IMPACT RESISTANT GLASS AS REQUIRED PER 2012 IBC SECTION 2406).

[illegible]



DRB3



PRELIMINARY
NOT FOR
CONSTRUCTION

MARYVILLE, TENNESSEE, 37804

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DREA



MARYVILLE, TENNESSEE, 37804

Call 865-657-5542 or 865-291-2273 in 865-644-8940
LURE TASTING ROOM



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DRB5



Department of Development Services Staff Report | April 10, 2017

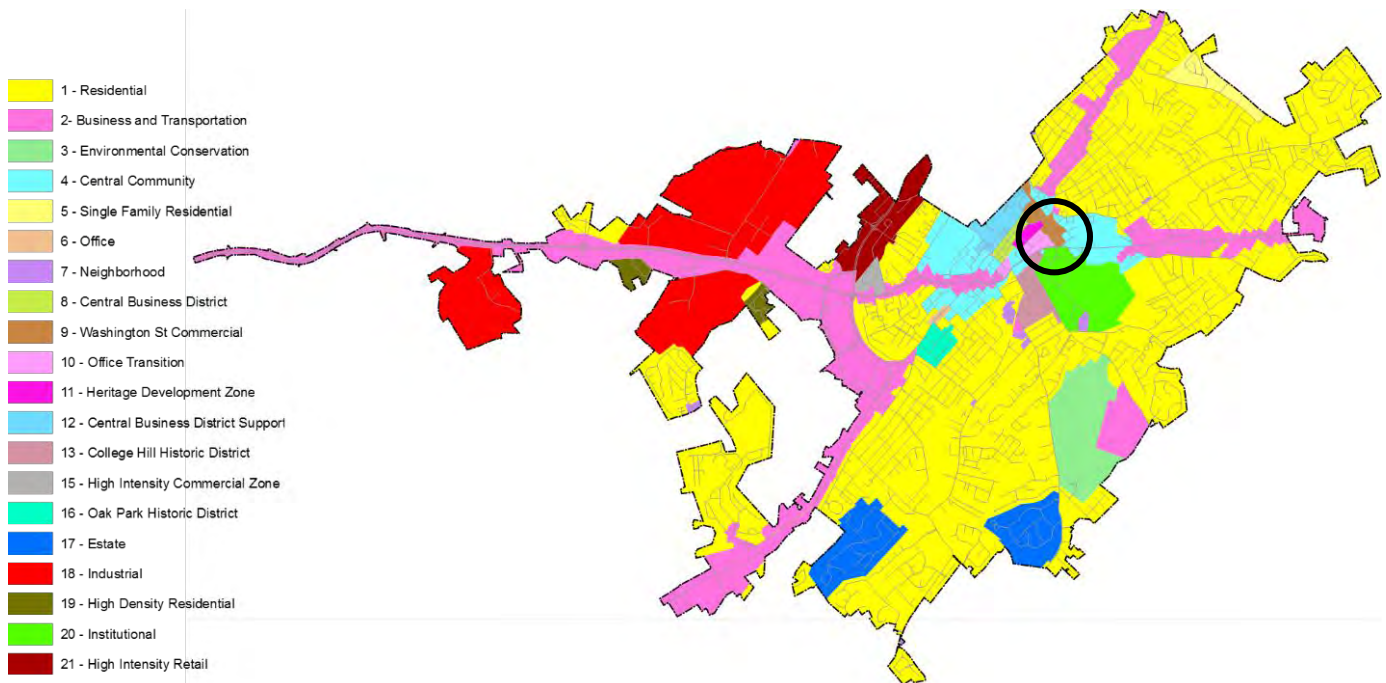
FOR: Maryville Downtown Design Review Board

INTRODUCTION: Applicant is requesting approval of the building façade for a new convenience store and gas pumps.

Proponent: William Weigel

Location: 610 and 618 S. Washington St. and the un-numbered parking lots between them; 710 Lamar St.; and 709 Jones Ave.

Lot size: 1.135 acres (including all six parcels and the alley)



City of Maryville Zoning Map

REFERENCE

Downtown Design Review Board [§14-203 (8)]: The Downtown Design Review Board is an advisory committee to the Maryville Regional Planning Committee.

Downtown Design Review Board Basic Powers [§14-203 (8)]: The Downtown Maryville Design Review Board shall review all conceptual plans for construction, alteration, repair, rehabilitation, relocation of any structure, or demolition of any historically significant structure, in the downtown districts for compliance.

Zoning District [§ 14-209 (5)(g)]: Washington Street Commercial Corridor Screening:

Vehicle movement areas must be screened from sidewalks with a brick or stone wall (not cinderblock), a wrought iron fence (or other fence materials that are visually similar to wrought iron), and/or landscaping. This is required to establish/maintain an edge to the street consistent with the rest of the district. This barrier shall be placed against the required three-foot landscaped buffer. The brick or stone portion of the wall or fence may not be taller than forty (40) inches. Fences and walls with fences on top shall not exceed six (6) feet in height.

Zoning District [§ 14-209 (5)(i)]: Washington Street Commercial Corridor Facades and Elevations:

- (i) Facades shall provide fenestration toward pedestrian areas for purposes of safety and aesthetics.
- (ii) Facades must not be monolithic; any of the following, or similar, design features may be used:
 - Changes in surface planes
 - Porches
 - Awnings
 - Entry stairs
 - Doors
 - Windows
 - Chimneys
 - Changes in construction materials
 - Landscaping
 - Horizontal and vertical sun-shading devices, such as walls, canopies, and similar devices, that extend a minimum of three (3) feet beyond the wall of adjacent walls.
- (iii) Facades may be repainted and shall be in good repair. Paint colors must be subdued and approved by the Downtown Design Review Board. Colors that are equivalent to Benjamin Moore's "Historical Collection" palette are pre-approved. Applicants must submit paint chips, brick samples, awning fabric samples, etc. to the review board for all proposed new paint projects, building construction and facade alteration.

Zoning District [§ 14-209 (5)(i)]: Washington Street Commercial Corridor Materials:

- (i) Natural stone, brick, wood and fiber-cement siding that resembles horizontal lap siding shall be used for all buildings in the Washington Street Commercial Corridor.
- (ii) Veneer materials are not allowed (i.e., vinyl siding, metal facade covering, stucco, and synthetic stucco).
- (iii) Synthetic materials and stucco may only be allowed on a limited basis for accent, trim, and cornices.

Zoning District [§ 14-209 (5)(i)]: Washington Street Commercial Corridor Accessories/Details:

- (i) Facilities are encouraged to use natural materials, colors, and scale compatible with those of other downtown zones. Details such as shutters, balconies, overhangs, exterior lighting, security lighting, etc. must be reviewed and approved by the Maryville Downtown Design Review Board as compatible with the design guidelines of the zone.
- (ii) Ancillary structures and equipment: HVAC equipment, above-ground grease traps, electric generators, fuel tanks, trash compactors, dumpsters, garbage containment areas, storage bins, and similar ancillary structures and equipment shall be screened from public roads with landscaping, walls, or fences. Proposed screening, ancillary structures, and equipment shall be submitted for board review before installation.

Permissible Use [§14-210]: N.A.

Nonconforming Use [§14-208]: N.A.

Landscaping and Screening [§14-213 (1)(b)(i)]:

- (i) To lessen the impact of high intensity land uses that adjoin lower intensity land uses. Commercial development sometimes encroaches on residential neighborhoods. This ordinance is a law requiring that a strip of trees, bushes, and/or fences act as a buffer between high intensity land uses (such as a shopping center or convenience store) and low intensity land uses (such as residential housing). This helps ensure that development can occur around established areas with minimal impacts.

Landscaping and Screening [§14-213 (6)]:

- (b) A light "point by point" foot-candle diagram must be shown on the site plan with a 10 x 10 foot maximum grid. The diagram should cover the at least ten feet on either side of property lines that border residential zones or uses;
- (c) Lighting must not exceed one foot-candle at or beyond the property line zoned or used for residential purposes;
- (d) Any luminaire with a lamp(s) rated at a total of more than 1800 lumens, and all flood or spot luminaires with a lamp(s) rated at a total of more than nine hundred (900) lumens shall not emit any direct light above a horizontal plane through the lowest direct light emitting part of the luminaire;

FACTS:

- The proposed development consists of six lots and the alley between Lamar St. and Jones Ave.

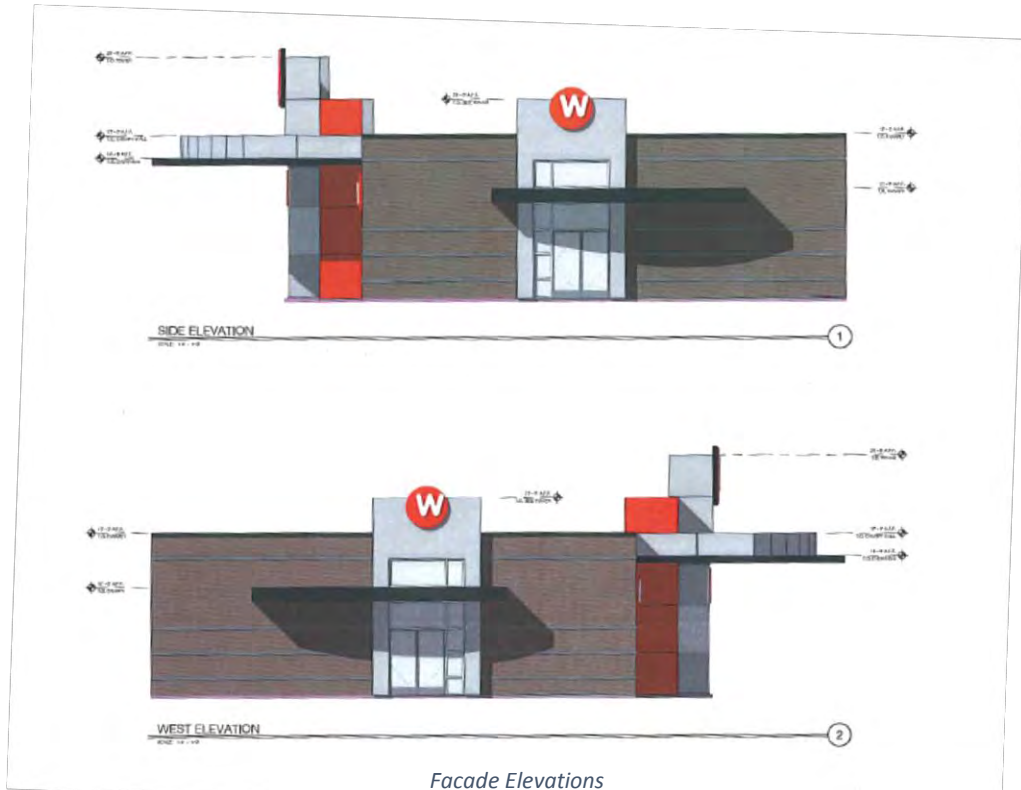


Location of 610 S. Washington Street

- The applicant is proposing the construction of a convenience store with gas sales.



Facade Elevations



Facade Elevations



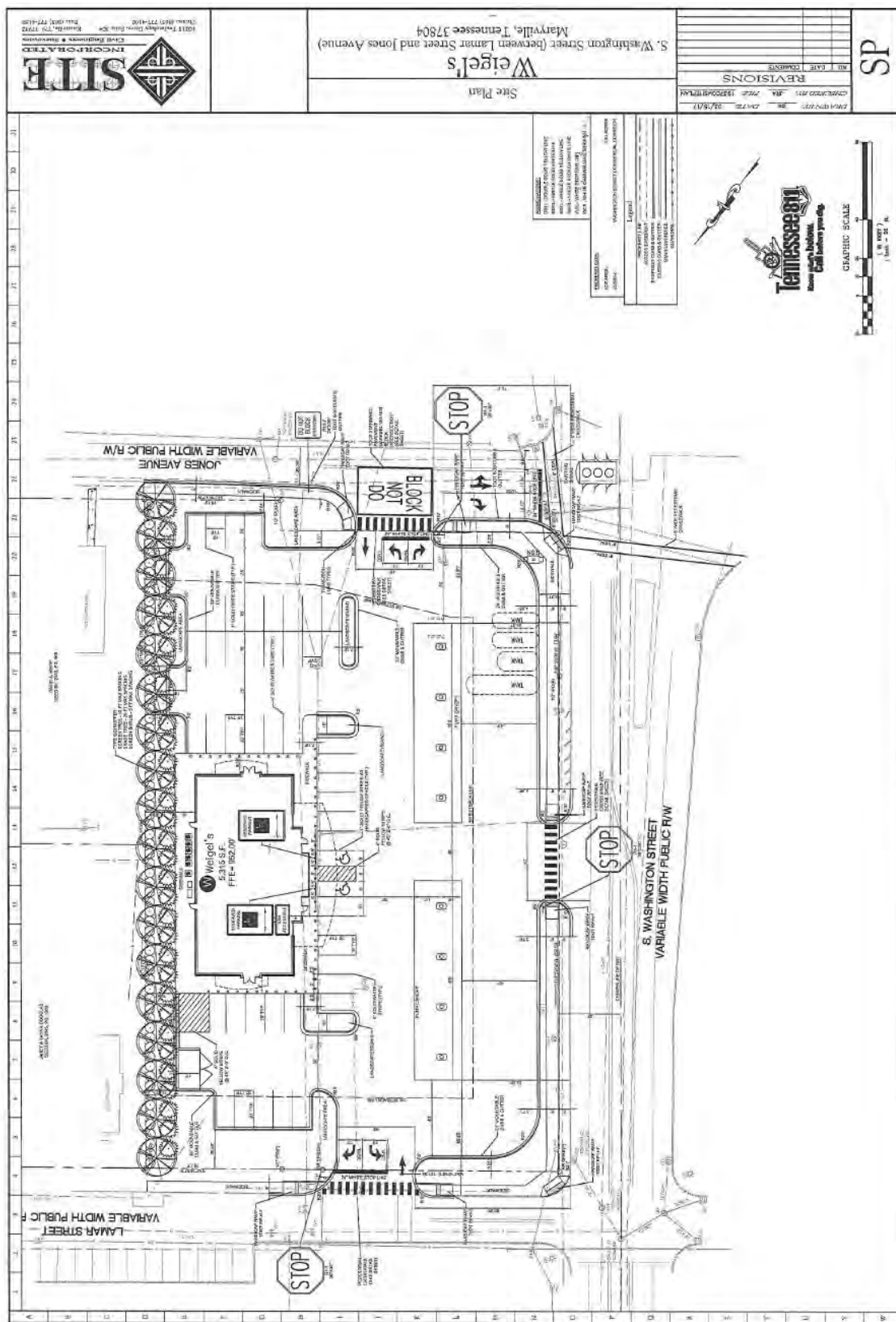
Pump Canopy Design



Photo of a Similar Store



Photo of a Similar Store



- The store is primarily brick with metal and glass at the three entrances.
- The required screening for dumpsters and HVAC equipment must be approved by the DDRB.

STAFF COMMENTS:

- The site plan shows appropriate screening along the rear property line, but does not show the required wall, landscaping, and/or fence along the street frontages.
- No details were provided about screening the dumpster or HVAC equipment, so the applicant will need to submit plans showing their proposed screening for approval at a future meeting.
- No lighting details or photometric plans were included with the application, so the applicant will need to submit lighting plans for approval at a future meeting.
- The DDRB should determine whether the amount of metal proposed on the structure would be considered an accent/trim or part of the building's materials.
- The red band on the canopy and the red accent around the front entryway is not a subdued color.

APPLICATION FOR MARYVILLE DOWNTOWN DESIGN REVIEW BOARD

DATE APPLICATION SUBMITTED:

APPLICANT'S NAME:

William B. Weigel

NAME OF COMPANY/BUSINESS:

Weigel Stores, Inc

APPLICANT'S PHONE NUMBER:

805-938-2042

APPLICANT'S MAILING ADDRESS:

3100 Weigel Lane Powell, TN 37849

ADDRESS OF RELATED PROPERTY:

610 S. Washington St.

ZONING DISTRICT:

SUMMARY OF PROPOSED WORK:

Gracerants are on the rise. Grocery store takeout and in-store dining is now the fastest-growing segment of the food-service industry and will most likely grow 3.8% in 2017, growing about 30% since 2008. It's estimated to be worth about \$29 billion according to foodservice market research.

Millennial habits are credited with spurring this growth. Our mission is to provide a food kitchen with many options including ready made salads, fresh fruit, and our fresh bakery items delivered seven days a week from our bakery. Our touch screen ordering allows the customer to customize their order, which we make fresh for them. We call our new design, "Weigel's Kitchen." Included are pictures and a list of items to be sold. Also, we will have quick use staple items for students, hospital staff, and visitors. Our gasoline pumps are ergonomically arranged to allow pedestrian use. We also plan to provide two outside covered tables for spring, fall, and summer use.



MBI
michael brady inc.
architects, interior designers, landscape architects

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DATE: 11/11/2011

A NEW DEVELOPMENT FOR

WEIGEL'S GEN 3

PROTOTYPE

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Drawing Title: PROTOTYPE

Date: 01/28/2011
Designed By: Z.T.
Drawn By: Z.T.
Reviewed By: CA
Comm. No. PRO
Revisions:

Sheet No. A0
of







**Weigels[®]
Kitchen**

***Now
Open***

GRILL

Cheese Quesadilla

Chicken Fajita

100% Angus Hamburger

100% Angus Double Hamburger

100% Angus Cheeseburger

100% Angus Double Cheeseburger

\$1.99

\$2.79

\$3.59

\$4.79

\$4.19

\$5.39



SANDWICHES

Sweet Glazer

Classic Grilled Cheese

Spicy Chicken

\$2.49

\$2.49

\$3.59

Paninis

Italian
Turkey & Cheese
Ham & Cheese
Club

\$3.79



PIZZA

Slices starting at **\$2.19**

Cheese	Whole	\$6.00
Pepperoni	Whole	\$6.00
Sausage	Whole	\$7.00
Supreme	Whole	\$8.00

DESSERTS

Polar Blast <i>Vanilla, Chocolate, Swirl</i> Add-ins: Oreo, M&M, Butterfinger, Reese's PB Cup	12 oz. 16 oz.	\$2.49 \$2.79
Shakes <i>Strawberry, Chocolate, Vanilla, Cookies & Cream</i>	12 oz. 16 oz.	\$1.99 \$2.49
Soft Serve Cup <i>Vanilla, Chocolate, Swirl</i>	12 oz. 16 oz.	\$1.79 \$2.49



SIDES

Starting at **\$1.29**

- Potato Wedges
- Tater Tots
- Pretzel



BREAKFAST

Breakfast Panini
Ham, Egg & Cheese
Bacon, Egg & Cheese
Sausage, Egg & Cheese

\$2.99

Sweet Glazer

\$2.49

Breakfast Pizza
Supreme

Slice **\$2.69**

Whole **\$7.00**

Served until 10:30am

Breakfast Paninis



Ham, Egg
& Cheese



Bacon, Egg
& Cheese



Sausage, Egg
& Cheese

2 for
\$5.50
Single **\$2.99**



*LIMITED TIME ONLY & WHILE SUPPLIES LAST.

W Weigel's

TWO \$2 FOR 50
MIX & MATCH

**SAUSAGE, EGG
& CHEESE BISCUIT**



**HAM, EGG &
CHEESE BISCUIT**



**SAUSAGE
BISCUIT**



• BAKED EVERY MORNING •

Food Service Menu

Menu Items - Drinks

WeiGels Smoothie Strawberry - 16oz
WeiGels Smoothie Triple Berry - 16oz
WeiGels Smoothie Straw Banana - 16oz
WeiGels Smoothie Mango Peach - 16oz
WeiGels Smoothie Banana - 16oz
WeiGels Smoothie Pina Colada - 16oz
WeiGels Smoothie Orange Cream - 16oz
WeiGels Smoothie Cappuccino - 16oz

Menu Items - Barista

Americano - Large
Americano - Medium
Brewed Coffe - Large
Brewed Coffe - Medium
Cappuccino - Large
Cappuccino - Medium
Caramel Macchiato - Large
Caramel Macchiato - Medium
Chai Tea Latte - Large
Chai Tea Latte - Medium
Espresso - Double
Espresso - Single
Flavored Cappuccino - Large
Flavored Cappuccino - Medium
Flavored Latte - Large
Flavored Latte - Medium
Hot Chocolate - Large
Hot Chocolate - Medium
Iced Cappuccino - Medium
Iced Caramel Macchiato - Medium
Iced Coffee - Medium
Iced Flavored Cappuccino - Medium
Iced Flavored Latte - Medium
Iced Latte - Medium
Iced Mocha - Medium
Latte - Large
Latte - Medium
Mocha - Large
Mocha - Medium

Menu Items - Breakfast

Breakfast Panini - 2FOR
Breakfast Panini - Single
Breakfast Panini - SEC
Breakfast Panini - BEC
Breakfast Panini - HEC
Breakfast Pizza
Breakfast Pizza - Slice
Sweet Glazer SEC
Sweet Glazer BEC
Sweet Glazer HEC
Sweet Glazer Breakfast Sandwich - Single
Sweet Glazer Breakfast Sandwich - 2FOR
Blueberry Bagel w/ Cream Cheese
Plain Bagel w/ Cream Cheese

Menu Items - Lunch

Angus Cheeseburger
Angus Double Burger
Angus Double Cheeseburger
Angus Hamburger
Cheese Pizza
Cheese Pizza - Slice
Chef Salad
Chicken Parmesan Sandwich
Club Panini
Garden Salad
Grilled Cheese
Grilled Cheese - 2FOR
Ham & Cheese Panini
Italian Panini
Lunch Panini - 2FOR
Lunch Panini - Single
Pepperoni Pizza
Pepperoni Pizza - Slice
Premium Spicy Chicken Sandwich - Kiosk
Quesadilla Chicken Fajita
Quesadilla Cheese
Sausage Pizza
Sausage Pizza - Slice
Supreme Pizza
Supreme Pizza - Slice
Sweet Glazer Double Bacon Cheese
Sweet Glazer Double Ham Cheese
Sweet Glazer Grilled Cheese
Sweet Glazer Grilled Cheese - 2FOR
Sweet Glazer Lunch Sandwich - 2FOR
Sweet Glazer Lunch Sandwich - Single
Turkey & Cheese Panini
Chicken Legs (2ct)
Chicken Legs (8ct)

Menu Items - Polar Vortex

Polar Vortex Vanilla Oreo - 12oz
Polar Vortex Chocolate Oreo - 12oz
Polar Vortex Swirl Oreo - 12oz
Polar Vortex Vanilla Oreo - 16oz
Polar Vortex Chocolate Oreo - 16oz
Polar Vortex Swirl Oreo - 16oz
Polar Vortex Vanilla Butterfingier - 12oz
Polar Vortex Chocolate Butterfingier - 12oz
Polar Vortex Swirl Butterfingier - 12oz
Polar Vortex Vanilla Butterfingier - 16oz
Polar Vortex Chocolate Butterfingier - 16oz
Polar Vortex Swirl Butterfingier - 16oz
Polar Vortex Vanilla Reese PB - 12oz
Polar Vortex Chocolate Reese PB - 12oz
Polar Vortex Swirl Reese PB - 12oz
Polar Vortex Vanilla Reese PB - 16oz
Polar Vortex Chocolate Reese PB - 16oz
Polar Vortex Swirl Reese PB - 16oz
Polar Vortex Vanilla MM - 12oz
Polar Vortex Chocolate MM - 12oz
Polar Vortex Swirl MM - 12oz
Polar Vortex Vanilla MM - 16oz
Polar Vortex Chocolate MM - 16oz
Polar Vortex Swirl MM - 16oz

Menu Items - Ice Cream

WeiGels Vanilla Ice Cream Cup - 12oz
WeiGels Chocolate Ice Cream Cup - 12oz
WeiGels Swirl Ice Cream Cup - 12oz
WeiGels Vanilla Ice Cream Cup - 16oz
WeiGels Chocolate Ice Cream Cup - 16oz
WeiGels Swirl Ice Cream Cup - 16oz
WeiGels Soft Serve Cone - Kids
WeiGels Soft Serve Cone - Small
WeiGels Soft Serve Cone - Large
WeiGels Vanilla Shake - 12oz
WeiGels Chocolate Shake - 12oz
WeiGels Cookies & Cream Shake - 12oz
WeiGels Vanilla Shake - 16oz
WeiGels Chocolate Shake - 16oz
WeiGels Cookies & Cream Shake - 16oz

Menu Items - Snacks/Sides

Soft Pretzel
Potato Wedges
Tater Tots
Cheesy Tator Tots
Chili Cheese Tator Tots
Popcorn Striped Bag
Popcorn Heap Take Home Bag









