

STAFF REPORT
Decatur City Plan Commission

Hearing Date	June 7, 2018
Case No.	18-19
Property Location	110-140 West Mound Road
Requested Action	Rezone from R-3 Single Family Residence District to PD Planned Development District to allow for the uses of Office, Retail, Restaurant including a drive-thru facility and Medical Office.
Petitioner	Mound Road Properties, LLC
Representative	Mary Cave, Chastain & Associates LLC

BACKGROUND

The subject site has three (3) single family residential structures and one vacant lot on approximately 3.3 acres. The site is generally located at the northwest quadrant of West Mound Road and North Water Street (U.S. 51) with frontage on West Mound Road. The public utility building at the northwest corner of said roadways is not part of the petitioned area.

Surrounding Land Use and Zoning

<i>Direction</i>	<i>Existing Land Use</i>	<i>Zoning</i>	<i>Comprehensive Plan</i>
Subject Property	Single-Family Residences/Vacant Lot	R-3	Residential-Low Density
North	Church/Single-Family Residences	R-3	Institutional
South	Commercial Center– Mound Center	B-3	Retail
East	Public Utilities – AT&T exchange building	R-3	Residential-Low Density
West	Undeveloped/Multi-Family Residential	R-3	Residential-Low Density

PROJECT DESCRIPTION

The petitioner proposes to rezone the subject site from R-3 Single Family Residence District to PD Planned Development District in order to construct a commercial center for multiple uses including offices, retail, medical office, and a restaurant with drive-thru facility.

The petitioner proposes to construct two commercial buildings, 12,577 square feet (east building) and 4,800 square feet (west building with a drive-thru facility) respectively. The overall area is proposed to be subdivided into two (2) lots. The petitioner will be required to submit a subdivision plat to the City for review and approval and the final site plan will not be approved until the plat has been approved by the City and recorded with Macon County.

Access to the commercial center is proposed via two curb cuts along West Mound Road. Currently, there is a median in the middle of West Mound Road, south of the subject site.

Landscaping meeting the requirements of the PD District Ordinance will be required at the time of final site plan review with the building permit application. Landscaping is shown for the frontage and parking areas as well as the buffer yard along the west and north sides of the development. Along the east property line, minimal landscaping is shown at the far north corner only.

Two (2) freestanding monument-styled signs, one for each of the two (2) lots, are proposed for the development and will be located off of West Mound Road.

The façade for the proposed center will be a mix of brick and stone.

One hundred (100) parking spaces are proposed, in conjunction with 10 stacking spaces for the drive-thru facility. A storm water detention basis is proposed in the northern portion of the site.

STAFF ANALYSIS

The City of Decatur Zoning Ordinance provides standards for reviewing applications for Planned District developments. An analysis of the review standards are discussed herein:

1. *Compatibility with the character of the surrounding neighborhood and general area.* The proposed development is compatible with the character of the area to the south. The site is located on a major, heavily travelled corridor in the City and is across the street from a large commercial center development. To the immediate east is a longstanding public utility building as a conditional use in the R-3 Single-Family Residence District. To the north is a non-residential use, a church, in the R-3 District. With special development conditions that can be imposed via the PD Planned Development District zoning, compatibility with the nearby residential uses can be ensured. Hours of operation will be limited only to between the hours of 6:00 AM and 11:00 PM to allow for the restaurant, if proposed, to serve their customers as well as allowing the development be more compatible with the neighboring residentially-zoned properties.

In terms of the proposed uses, they would be compatible and consistent with existing uses in the commercial center development across West Mound Road from the site. However, considering the amount of residential uses and residentially-zoned properties surrounding the subject site and limited access with its mid-block non-signalized location, staff is of the opinion that certain uses may be deemed as less desirable and are recommended to be prohibited. They include: Consumer credit services; outdoor storage of merchandise, construction equipment and/or building materials; check cashing services; pawnbroker; tattoo or body piercing parlor; gas stations; and video-gaming parlor.

Regarding buffer yards, a substantial buffer yard to include a stormwater detention basis is shown in the northern portion of the site. A 16-foot buffer yard is indicated along the east property limits, abutting the public utility facility in the "R-3" Residence District. Given the steep slope down from the subject site towards this adjacent property, staff believes a buffer yard of no less than fifteen (15) feet with additional landscaping would be sufficient and

reasonable in this instance. Though in the R-3 District, the public-utility facility may continue legally at this location as a Conditional Use as it has been for many years. Likewise along the west property limits, abutting an undeveloped tract of land in the R-3 Residence District, a minimum buffer yard of 15 feet with dense landscaping would be reasonable, taking into account minimal impact the proposed drive aisle will bring.

2. *Effect on area.* The proposed development will increase traffic to the area when changing from a single family residential use to a commercial use, however, the amount of traffic impact that is expected to be generated is not expected to greatly impact the surrounding traffic. The presence of a median on Mound Road will prohibit left turns from and to the site. Some traffic may try to make U-turn's or cut through parking lots or residential areas to get to and from the site. The proposed development will be designed to provide adequate landscaping and screening along the buffer areas next to the residentially-zoned properties. The façade of the proposed development will consist of a mix of brick and stone.
3. *Consistency with comprehensive plan.* The proposed development is not consistent with the Comprehensive Plan as it currently calls for Residential Low-Density. However, the site is located on a major corridor directly across from a major commercial center development across West Mound Road, and abuts non-residential uses on the east and north sides.
4. *Traffic capacity.* The City received traffic generation numbers and the increase of traffic shown to the City will is not expected to exceed the capacity of Mound Road or the adjacent intersections.
5. *Adequacy of utilities.* Most of the storm water runoff currently drains to the north. The proposed plans show storm water draining to the south towards Mound Road. It is unknown if the storm sewer along Mound Road has the capacity to take in any additional storm water. More study will be needed to determine the best location to carry the storm water runoff. The public sanitary sewer will have to be relocated in a new permanent easement to allow for the buildings to be constructed at the proposed location.
6. *Integration.* The proposed individual developments will be developed in accordance with an overall design plan for the site.
7. *Adequacy of parking facilities.* The required number of parking spaces is 83; 100 spaces have been provided on site, so the minimum parking requirement has been exceeded.

The preliminary PD plan has been reviewed and approved by the City's Technical Review Committee, Planning, Engineering and Fire.

STAFF RECOMMENDATION

Based on the analysis, staff recommends approval of the proposed PD Planned Development District petition with the following conditions:

1. The permitted uses in this Planned Development District are retail, no more than one (1) freestanding restaurant with a drive-through facility; and medical and professional offices in no more than two (2) buildings. Consumer credit services; outdoor storage of merchandise, construction equipment and/or building materials; check cashing services; pawnbroker; tattoo or body piercing parlor; gas stations; and video-gaming parlor are prohibited.
2. The combined total square footage of both buildings shall not exceed 17,400 square feet.

3. Building elevations and construction materials primarily of masonry shall be as approved by the Economic and Community Development Department in conjunction with the final site plan review.
4. There is concern that the storm sewer system along Mound Road does not have the capacity to take any additional storm water. The drainage design must be studied further, and a report, sealed by a professional engineer, must be submitted. Storm water runoff must be managed according to City of Decatur Storm Water Policy and must consider the impact on downstream properties and infrastructure. The final design of the detention area and where it outlets must be reviewed and approved by the City prior to the approval of site plan.
5. A public sanitary sewer runs through the property where the buildings are proposed. The sewer will have to be relocated around the building with a new permanent easement surrounding the sewer.
6. Signs prohibiting left turns are required at the two exit points for the site.
7. The overall development will be permitted to have no more than two (2) freestanding monument style signs along the frontage of West Mound Road, one on each of the two (2) proposed lots. One of the permitted freestanding signs shall be a maximum of 160 square feet in area and not exceeding twenty (20) feet in height. The second permitted sign shall not exceed one hundred (100) square feet in area or ten (10) feet in height. Electronic Message Unit (EMU) signage, if proposed, on the freestanding monument style signage shall be permitted, subject to the requirements of the Zoning Ordinance for EMUs. An electronic message unit shall be permitted on the menu/order board for the drive-through facility. All other signage within the development will be prohibited from having EMUs.
8. Hours of operation for a restaurant, if proposed, shall be between the hours of 6:00 AM and 11:00 PM.
9. No outside speakers shall be permitted except for the drive-through facility with the restaurant.
10. All lights facing the west, north and east shall be shielded from the adjoining properties.
11. A two lot final subdivision plat will be required to be submitted, approved and recorded prior to a final site plan being approved.
12. Except as otherwise required by the Zoning Ordinance regarding buffer yards, a minimum of fifteen (15) foot wide landscaped buffer yard shall be provided along the respective east and west property limits of the overall development where they adjoin residentially-zoned properties. A mix of trees and shrubs, in sizes as prescribed by the Zoning Ordinance, shall be provided within the required buffer yards.
13. Cross-access and cross-parking easements, as well as trash enclosure easement, shall be established, approved, and recorded for the two (2) proposed lots as part of the final subdivision plat approval procedure.
14. The design and location of the proposed curb cut(s) on West Mound Road shall be as approved by the Department of Public Works on the final site plan.
15. Final site, landscaping and lighting plans shall be submitted to and approved by the Economic and Community Development Department, Public Works Department and the Fire Department prior to building permits being released.

PLAN COMMISSION ACTION

Section XIX.G.2. of the City of Decatur Zoning Ordinance requires the Plan Commission to hold a public hearing to review the Planned Development plan and report its findings concerning the effect on the comprehensive plan and compliance with the standards of review to the City Council. A motion to forward Calendar Number 18-19 to the City Council with a recommendation for approval is suggested.

The above report constitutes the testimony and recommendation of the Planning and Sustainability Division, Economic and Community Development Department, City of Decatur.

Joselyn Stewart
Transportation Planner

ATTACHMENTS

1. Petition
2. Site Plan
3. Location Map

**City of Decatur, Illinois****PETITION FOR REZONING***Petition before the Mayor, City Council and Members of the Plan Commission of Decatur, Illinois*

Economic and Urban Development Department

One Gary K. Anderson Plaza

Decatur, Illinois 62523-1196

424-2793

FAX 424-2728

Please Type**SECTION ONE: PETITIONER / OWNER / REPRESENTATIVE INFORMATION**

Petitioner	Mound Road Properties, LLC				
Address	c/o Nancy Handegan, 100 S. Water Street, Suite 102				
City	Decatur	State	IL	Zip	62523
Telephone	217-422-2420	Fax		E-mail	
Property Owner	See Attachment A.				
Address					
City		State		Zip	
Telephone		Fax		E-mail	
Representative	Mary Cave, Chastain & Associates LLC				
Address	5 N. Country Club Road				
City	Decatur	State	IL	Zip	62521
Telephone	217-422-8544	Fax	217-422-0398	E-mail	mcave@chastainengineers.com

SECTION TWO: SITE INFORMATION

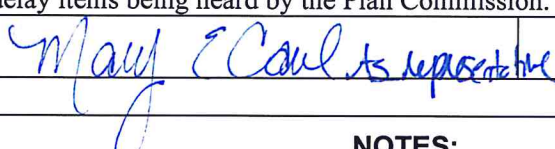
Street Address	See Attachment A.					
Legal Description	See Attachment A.					
Present Zoning	☐ R-1	☐ R-2	☒ R-3	☐ R-5	☐ R-6	Is this property a Planned Unit Development? ☐ YES Approval Date: _____ ☒ NO
	☐ B-1	☐ B-2	☐ B-3	☐ B-4	☐ O-1	
	☐ M-1	☐ M-2	☐ M-3	☐ PMR-1		
Please list all improvements on the site:						
Size of Tract	3.30	☐ SF	☒ AC			

SECTION THREE: REQUESTED ACTION

Rezone Property To:	☐ R-1	☐ R-2	☐ R-3	☐ R-5	☐ R-6	Will this property be a Planned Unit Development? ☒ YES ☐ NO
	☐ B-1	☐ B-2	☐ B-3	☐ B-4	☐ O-1	
	☐ M-1	☐ M-2	☐ M-3	☐ PMR-1		
Other:						

Section Three Continued	
Purpose	Please state the purpose of the proposed rezoning.
Rezoning this property to a Planned Development to allow for a medical office and mixed retail/commercial uses.	

SECTION FOUR: JUSTIFICATION
<i>The petitioner submits to the City Plan Commission and City Council the following facts (additional pages may be attached):</i>
The petitioner is interested in developing a mixed use office/commercial area at the northwest corner of Mound Road and Rt 51. There is currently an existing AT&T facility next to the subject site that would not be removed. Commercial uses in this area would be a natural expansion of the current commercial uses at the southwest corner of the intersection, Mound Center. Planned Development zoning is requested in order to allow for multiple uses within the subject site, including a medical office and a mixed use building with an opportunity for a drive-thru facility.

SECTION FIVE: CERTIFICATION	
	To be placed on the agenda of the regular meeting on the first Thursday of the month at 3:00 PM in the City Council Chambers, petition must be received on the first Thursday of the preceding month. Failure of the petitioner or the petitioner's representative to attend the Plan Commission hearing may result in items being tabled. Incomplete or erroneous petitions may delay items being heard by the Plan Commission.
Petitioner's Signature	 Date 5/3/18

NOTES:	
1. Please forward this completed form and attachments to the Economic and Urban Development Department, Third Floor, Decatur Civic Center. Please make checks payable to the City of Decatur. See Schedule "A" for fees. 2. Signature of this petition grants permission to City staff to place a sign, indicating a request for zoning action, on the subject property at least 10 days prior to the Decatur City Plan Commission hearing. Said sign will be removed within 15 days of final action by City Council. 3. In the event a petition for rezoning is denied by the Council, another petition for a change to the same district shall not be filed within a period of one year from the date of denial, except upon the initiation of the City Council or the City Plan Commission after showing a change of circumstances which would warrant a renewal. 4. All petitions before the Decatur City Plan Commission are reviewed through the Development Technical Review (DTR) Process. Please consult the DTR Brochure for information related to this process.	

OFFICE USE ONLY	
Date Filed	
By	

Petition for Rezoning – Attachment A

Property # 1

PIN: 07-07-27-479-005
Address: 110 W. Mound Road, Decatur IL 62526
Owner(s): David S. Clope
5242 W. Ancient Oak Dr., Peoria IL 61615
Legal Description: Lot 6 Mound Place E100 W433.48 ~ L7 & 8 & S41.74 E100 W433.48
(Ex Hwy ROW) ~ 99BK 2897/101 IRREG
Size of Tract: .74 acres

Property # 2

PIN: 07-07-27-479-004
Address: (empty lot) Decatur IL 62526
Owner(s): David S. Clope
5242 W. Ancient Oak Dr., Peoria IL 61615
Legal Description: Mound Place E ~ E100 W333.48 ~ Lts 7 & 8 & S41.74 E100 W333.48 Lt 6/
~ 03BK 3344/732 IRREG (Ex Hwy ROW)
Size of Tract: .75 acres

Property # 3

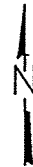
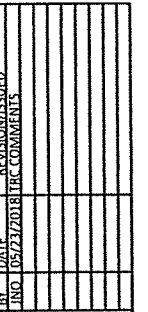
PIN: 07-07-27-479-003
Address: 120 W. Mound Road, Decatur IL 62526
Owner(s): David S. Clope
5242 W. Ancient Oak Dr., Peoria IL 61615
Legal Description: Mound Place ~ E100 W233.48 Lts 7 & 8 & S41.74 E100 W233.48 Lt 6 ~
~ 03BK 3344/732 IRREG (Ex Hwy ROW)
Size of Tract: .76 acres

Property # 4

PIN: 07-07-27-479-002
Address: 140 W. Mound Road, Decatur IL 62526
Owner(s): Kennard N & Sharon
140 W. Mound Road, Decatur IL 62526
Legal Description: Mound Place ~ W133.58 of ~ Lts 7 & 8 & W133.58 of ~S50 Lot 6
(Ex Hwy ROW) ~ 97BK2710/495 IRREG ~93BK2486/251 ~
Size of Tract: 1.05 acres

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN. THE DEPTH OF UTILITIES IS ASSUMED TO BE NORMAL AND CUSTOMARY. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.

OWNER / DEVELOPER: MOUND ROAD PROPERTIES, LLC



PART OF LOTS 6, 7, AND 8 OF MOUND PLACE SUBDIVISION, BEING PART OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 17 NORTH, RANGE 2 EAST OF THE THIRD PRINCIPAL MERIDIAN, AS PER PLAT RECORDED IN BOOK 149 ON PAGE 625 OF THE RECORDS, IN THE RECORDER'S OFFICE OF MACON COUNTY, ILLINOIS, EXCEPTING THEREFROM THAT PART OF SAID LOT 8 DEDICATED TO HIGHWAY DEPARTMENT OF MACON COUNTY, ILLINOIS AND THE CITY OF DECATUR ILLINOIS FOR PUBLIC ROAD PURPOSES BOUNDED AND DESCRIBED AS FOLLOWS TO-WIT:

BEGINNING AT A POINT ON THE WEST LINE OF SAID LOT 8, SAID POINT BEING 40.0 FEET NORTH OF THE SOUTHWEST CORNER OF SAID LOT 8; THENCE NORTH 0 DEGREES 05 MINUTES 16 SECONDS WEST ALONG THE WEST LINE OF SAID LOTS 8, 7, AND 6, A DISTANCE OF 340.04 FEET; THENCE NORTH 89 DEGREES 04 MINUTES 44 SECONDS EAST, A DISTANCE OF 133.59 FEET; THENCE SOUTH 0 DEGREES 05 MINUTES 16 SECONDS EAST, A DISTANCE OF 7.60 FEET; THENCE NORTH 89 DEGREES 04 MINUTES 44 SECONDS EAST, A DISTANCE OF 300.03 FEET; THENCE SOUTH 0 DEGREES 05 MINUTES 16 SECONDS EAST, A DISTANCE OF 324.01 FEET TO THE NORTHERLY LINE OF PREMISES CONVEYED TO THE CITY OF DECATUR BY WARRANTY DEED; THENCE SOUTH 87 DEGREES 56 MINUTES 43 SECONDS WEST ALONG THE SAID NORTHERLY LINE OF THE PREMISES CONVEYED TO THE CITY OF DECATUR BY WARRANTY DEED A DISTANCE OF 426.01 TO A POINT ON THE NORTHERLY LINE OF PREMISES DEDICATED TO THE MACON COUNTY HIGHWAY DEPARTMENT FOR PUBLIC ROAD PURPOSES; THENCE SOUTH 89 DEGREES 04 MINUTES 44 SECONDS WEST, A DISTANCE OF 7.82 FEET TO THE POINT OF BEGINNING;

AMEREN (GAS & ELECTRIC)
2460 N. JASPER ST.
DECATUR, IL 62526
CONTACT: SHAWN SPILLMAN
PHONE: (217) 424-8745

AT&T (PHONE)
201 SOUTH NEIL ST.
CHAMPAIGN, IL 61820
CONTACT: TROY LATOZ
PHONE: (217) 398-7980

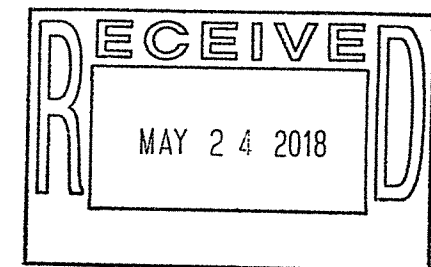
COMCAST (CABLE)
1275 N. WATER ST.
DECATUR, IL 62521
CONTACT: KEITH KOSHINSKI
PHONE: (224) 229-3253

**CITY OF DECATUR (WATER,
SANITARY, AND STORM)
#1 GARY ANDERSON PLAZA
DECATUR, IL 62521
CONTACT: MATT NEWELL
PHONE: (217) 424-2747**

CHASTAIN & ASSOC. (PROJECT MANAGER)
5 N. COUNTRY CLUB RD.
DECATUR, IL 62521
CONTACT: MARY CAVE
PHONE: (217) 422-8544

CHASTAIN & ASSOC. (SURVEYOR)
5 N. COUNTRY CLUB RD.
DECATUR, IL 62521
CONTACT: RANDY TREI
PHONE: (217) 422-8544

PD-1	COVER
PD-2	GENERAL NOTES AND SPECIFICATIONS
PD-3	TOPOGRAPHIC PLAN
PD-4	SITE PLAN
PD-5	UTILITY PLAN
PD-6	GRADING PLAN
PD-7	LANDSCAPE PLAN
PD-8	PHOTOMETRICS PLAN
PD-9	DETAILS
PD-10	DETAILS



Mary E Cave
MARY E. CAVE
ILLINOIS REGISTERED PROFESSIONAL ENGINEER
NO. 062-060331



EXP. 11/30/19

**CHASTAIN
& ASSOCIATES L
CONSULTING ENGINEERS**



P. 11/30/19

COVER

PLANNED DEVELOPMENT
ADDRESS
DECATUR, IL

Sheet no.
D-1
Project no.
861

GENERAL NOTES

1.

THE ENGINEER SHALL NOT GUARANTEE THE WORK OF ANY CONTRACTOR. SHALL HAVE NO AUTHORITY TO STOP WORK, SHALL HAVE NO SUPERVISION OR CONTROL AS TO THE WORK OR PERSONS DOING THE WORK, SHALL NOT BE RESPONSIBLE FOR SAFETY IN, ON, OR ABOUT THE JOB SITE OR HAVE ANY CONTROL OF THE SAFETY OR ADEQUACY OF ANY EQUIPMENT, BUILDING COMPONENT, SCAFFOLDING, SUPPORTS, FORMS OR OTHER WORK AIDS, AND SHALL HAVE NO DUTIES OR RESPONSIBILITIES IMPOSED BY ACTS GOVERNING THE WORKPLACE.
2.

THE ABBREVIATION SSRB SHALL REFER TO THE ILLINOIS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION ADOPTED APRIL 1, 2016. COPIES AVAILABLE ONLINE AT [HTTP://WWW.IDOT.ILLINOIS.GOV/ASSETS/UPLOADS/FILES/DOING-BUSINESS/MANUALS-GUIDES-&-HANDBOOKS/HIGHWAYS/CONSTRUCTION/STANDARD-SPECIFICATIONS/STANDARD%20SPECIFICATIONS%20FOR%20ROAD%20AND%20BRIDGE%20CONSTRUCTION%202016.PDF](http://www.idot.illinois.gov/assets/uploads/files/doing-business/manuals-guides-&-handbooks/highways/construction/standard-specifications/standard%20specifications%20for%20road%20and%20bridge%20construction%202016.pdf)
3.

THE ABBREVIATION SSWSC SHALL REFER TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, 7TH EDITION OR LATEST EDITION.
4.

WORK SHALL CONFORM TO THE CITY OF DECATUR AND/OR IDOT CONSTRUCTION STANDARDS, THE ILLINOIS ACCESSIBILITY CODE, PROWAG AND STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS.
5.

NOTHING CONTAINED HEREIN SHALL RELIEVE ANY CONTRACTOR OF HIS/HER DUTY TO OBSERVE AND COMPLY WITH ALL APPLICABLE LAWS, NOR SHALL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTOR'S COMPLIANCE OR NONCOMPLIANCE WITH SUCH LAWS.
6.

THE TERMS "PLACE", "CONSTRUCT" AND "INSTALL" SHALL BE INTERPRETED TO MEAN, "FURNISH ALL EQUIPMENT, MATERIAL AND LABOR TO COMPLETE THIS WORK".
7.

THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONTRACTOR'S DUTY TO OBSERVE AND COMPLY WITH CUENT CONTRACT REQUIREMENTS, LOCAL AND STATE REGULATIONS, OR FOR THE CONTRACTOR'S FAILURE TO DO SO.
8.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES DURING AND UNTIL COMPLETION OF THE PROJECT. UTILITIES SHOWN ON THE PLANS WERE LOCATED IN THE FIELD AND/OR LOCATED FROM ARCHIVAL DATA. THESE LOCATIONS ARE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS IN THE FIELD. (J.U.L.I.E. 1-800-892-0123)
9.

CONTRACTOR SHALL REPAIR ANY DAMAGED UTILITY LINES CAUSED BY HIS/HER ACTIVITIES. ALL WORK REQUIRED TO PERMANENTLY REPAIR THE UTILITY TO THE ENGINEER'S SATISFACTION SHALL BE AT THE CONTRACTOR'S EXPENSE.
10.

CONTRACTOR SHALL FIELD VERIFY THE EXISTING STORM AND SANITARY FLOWLINES AT THE PROPOSED CONNECTIONS PRIOR TO PERFORMING ANY SEWER WORK.
11.

CONTRACTOR SHALL POTHOLE ALL LOCATIONS WHERE PROPOSED STORM AND/OR SANITARY SEWER ARE TO CROSS EXISTING UTILITIES TO VERIFY THERE WILL NOT BE CONFLICT. IF A CONFLICT IS FOUND THE CONTRACTOR SHALL CONTACT THE ENGINEER.
12.

ALL ELEVATIONS ARE BASED ON NAVD 88 DATUM. THE PROPOSED GRADE ELEVATIONS SHOWN ON THE PLAN SHEETS ARE THE ELEVATIONS FOR THE FINISHED SURFACE AT THE INDICATED LOCATIONS.
13.

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND/OR APPROVALS REQUIRED TO WORK WITHIN THE PUBLIC RIGHT-OF-WAY. ALL WORK CONDUCTED IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONDUCTED BY A CONTRACTOR LICENSED AND BONDED BY THE CITY OF DECATUR.
14.

CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES TO MEET ALL REGULATORY REQUIREMENTS AND SWPPP WITHIN THIS PLAN SET. THIS SHALL INCLUDE BUT NOT LIMITED TO INLET PROTECTION, CONCRETE WASHOUT AND CONTROLLING TRACKOUT ON THE SURROUNDING STREETS.
15.

AN ENVIRONMENTAL SURVEY WAS NOT PERFORMED AS PART OF THIS DESIGN.
16.

ALL ENTRANCES / DRIVEWAYS ARE AT A 90 DEGREE ANGLE TO THE ADJACENT ROADWAY UNLESS OTHERWISE NOTED.
17.

ALL TRENCHES WITHIN 2 FEET OF A PAVED SURFACE SHALL BE GRANULAR BACKFILLED PER TRENCH BACKFILL SPECIFICATION.
18.

WHERE SECTION STONES OR PROPERTY MARKERS ARE ENCOUNTERED, THE ENGINEER SHALL BE NOTIFIED BEFORE SUCH STONES OR MARKERS ARE REMOVED. THE CONTRACTOR SHALL PROTECT AND PRESERVE ALL PROPERTY MARKERS ALONG THE OUTER BOUNDARY UNTIL AN AUTHORIZED SURVEYOR HAS WITNESSED OR REFERENCED THEIR LOCATION.
19.

TRAFFIC CONTROL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTORS AND SHALL BE IN ACCORDANCE WITH IDOT STANDARDS.

SPECIFICATIONS

EXCAVATION AND EMBANKMENT

THE CONTRACTOR SHALL GRADE THE SITE AS SHOWN IN THE PLANS. THIS WORK SHALL MEET THE REQUIREMENTS OF SECTION 202 AND SECTION 205 OF THE SSRB AND ALL OTHER REFERENCED ARTICLES AND SECTIONS. BACKFILLING AROUND PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF SAID IMPROVEMENT.

TRENCH BACKFILL

THE CONTRACTOR SHALL PLACE TRENCH BACKFILL AS SHOWN IN THE PLANS. THIS WORK SHALL MEET THE REQUIREMENTS OF SECTION 208 OF THE SSRB AND ALL OTHER REFERENCED ARTICLES AND SECTIONS.

SEEDING CLASS 1 AND MULCH METHOD 2

THE CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS. WORK SHALL MEET THE REQUIREMENTS OF SECTION 250 AND SECTION 251 OF THE SSRB AND ALL OTHER REFERENCED ARTICLES AND SECTIONS.

TEMPORARY EROSION CONTROL SEEDING

THE CONTRACTOR SHALL APPLY TEMPORARY EROSION CONTROL SEEDING AS INDICATED IN THE PLANS. THIS WORK SHALL MEET THE REQUIREMENTS OF SECTION 280 OF THE SSRB AND ALL OTHER REFERENCED ARTICLES AND SECTIONS.

AGGREGATE BASE COURSE, TYPE A

THE CONTRACTOR SHALL PLACE AGGREGATE BASE COURSE, TYPE A AT A MINIMUM THICKNESS AS SHOWN IN THE PLANS. THE WORK SHALL MEET THE REQUIREMENTS OF SECTION 351 OF THE SSRB AND ALL OTHER REFERENCED ARTICLES AND SECTIONS.

PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT

THE CONTRACTOR SHALL PLACE PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT AS SHOWN IN THE PLANS. THIS WORK SHALL MEET THE REQUIREMENTS OF SECTION 423 OF THE SSRB AND ALL OTHER REFERENCED ARTICLES AND SECTIONS.

PORTLAND CEMENT CONCRETE SIDEWALK

THE CONTRACTOR SHALL PLACE PORTLAND CEMENT CONCRETE SIDEWALK AS SHOWN IN THE PLANS. THE SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2% , LONGITUDINAL SLOPE SHALL NOT EXCEED 5%.' AND SIDEWALK RAMPS SHALL NOT EXCEED 8.33%. THIS WORK SHALL MEET THE REQUIREMENTS OF SECTION 424 OF THE SSRB AND ALL OTHER REFERENCED ARTICLES AND SECTIONS, ILLINOIS ACCESSIBILITY CODE AND/OR PROWAG.

PAVEMENT REMOVAL, SIDEWALK REMOVAL AND COMBINATION CONCRETE CURB AND GUTTER REMOVAL

THE CONTRACTOR SHALL REMOVE THE PAVEMENT, SIDEWALK AND COMBINATION CONCRETE CURB AND GUTTER AS SHOWN IN THE PLANS. THIS WORK SHALL MEET THE REQUIREMENTS OF SECTION 440 OF THE SSRB AND ALL OTHER REFERENCED ARTICLES AND SECTIONS.

STORM SEWERS

THE CONTRACTOR SHALL INSTALL STORM SEWERS AS SHOWN IN THE PLANS. THE PROPOSED STORM SEWER SHALL BE CLASS B, WITH A MAXIMUM N VALUE OF 0.013, WHEN INSTALLED OUTSIDE OF THE RIGHT-OF-WAY AND CLASS A WHEN INSTALLED IN THE RIGHT-OF-WAY. THIS WORK SHALL MEET THE REQUIREMENTS OF SECTION 550 OF THE SSRB AND ALL OTHER REFERENCED ARTICLES AND SECTIONS.

STORM SEWER REMOVAL

THE CONTRACTOR SHALL REMOVE THE EXISTING STORM SEWERS WHERE INDICATED IN THE PLANS. THIS WORK SHALL MEET THE REQUIREMENTS OF SECTION 551 OF THE SSRB AND ALL OTHER REFERENCED ARTICLES AND SECTIONS.

INLET TYPE A, INLET TYPE B AND MANHOLES

THE CONTRACTOR SHALL INSTALL INLET TYPE A, INLET TYPE B AND MANHOLES AS SHOWN IN THE PLANS. THIS WORK SHALL MEET THE REQUIREMENTS OF SECTION 602 OF THE SSRB AND ALL OTHER REFERENCED ARTICLES AND SECTIONS.

COMBINATION CONCRETE CURB AND GUTTER

THE CONTRACTOR SHALL PLACE COMBINATION CONCRETE CURB AND GUTTER, AS SHOWN IN THE PLANS. THIS WORK SHALL MEET THE REQUIREMENTS OF SECTION 606 OF THE SSRB AND ALL OTHER REFERENCED ARTICLES AND SECTIONS.

PAINT PAVEMENT MARKING

THE CONTRACTOR SHALL PLACE PAINT PAVEMENT MARKING AS SHOWN ON THE PLANS. THIS WORK SHALL MEET THE REQUIREMENTS OF SECTION 780 OF THE SSRB AND ALL OTHER REFERENCED ARTICLES AND SECTIONS.

SANITARY AND WATER LINE REMOVAL

THE CONTRACTOR SHALL REMOVE THE EXISTING SANITARY AND WATER LINE PIPE AND STRUCTURES WHERE INDICATED ON THE PLANS. THIS WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS SEVENTH EDITION OR LATEST EDITION.

WATER MAIN

THE WATER MAIN SHALL BE DUCTILE IRON OR AWWA C900 FOR PRESSURE CLASS 150, DR 18 PVC IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER MAIN AND SEWER CONSTRUCTION IN ILLINOIS SEVENTH EDITION OR LATEST VERSION.

THE PIPE BEDDING MATERIAL FOR FLEXIBLE PIPE SHALL BE PLACED A MINIMUM OF 4" BELOW THE PIPE AND MINIMUM OF 12" ABOVE THE PIPE AND SHALL BE CLASS II MEETING ASTM D2321 AS DESCRIBED IN SECTION 20-4.05 AND 20-4.06 OF THE STANDARD SPECIFICATIONS FOR WATER MAIN AND SEWER CONSTRUCTION IN ILLINOIS SEVENTH EDITION OR LATEST VERSION.

DISINFECTING AND WATER MAIN TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER MAIN AND SEWER CONSTRUCTION IN ILLINOIS SEVENTH EDITION OR LATEST VERSION. THIS WORK SHALL INCLUDE PRESSURE TESTING.

THE SEPARATION OF WATER MAINS FROM SEWER MAINS SHALL BE IN ACCORDANCE WITH SECTIONS 41-2.01A AND SECTION 41-2.01B OF THE STANDARD SPECIFICATIONS FOR WATER MAIN AND SEWER CONSTRUCTION IN ILLINOIS SEVENTH EDITION OR LATEST VERSION.

CONCRETE THRUST BLOCKS

CONCRETE THRUST BLOCKS SHALL CONFORM TO THE LATEST VERSION AND THE STANDARD SPECIFICATIONS FOR WATER MAIN AND SEWER CONSTRUCTION IN ILLINOIS SEVENTH EDITION OR LATEST VERSION.

SANITARY SEWER

THE SANITARY SEWER SHALL BE POLYVINYL CHLORIDE WITH A STANDARD DIMENSION RATIO OF 26. THE JOINTS SHALL BE FLEXIBLE SEALS. THE PVC SEWER PIPE AND JOINTS SHALL BE IN ACCORDANCE WITH SECTION 30-4.04 OF THE STANDARD SPECIFICATIONS FOR WATER MAIN AND SEWER CONSTRUCTION IN ILLINOIS SEVENTH EDITION OR LATEST VERSION.

THE PIPE BEDDING MATERIAL SHALL BE PLACED A MINIMUM OF 4" BELOW THE PIPE AND MINIMUM OF 12" ABOVE THE PIPE AND SHALL BE CLASS II MEETING ASTM D2321 AS DESCRIBED IN SECTION 20-4.05 AND 20-4.06 OF THE STANDARD SPECIFICATIONS FOR WATER MAIN AND SEWER CONSTRUCTION IN ILLINOIS SEVENTH EDITION OR LATEST VERSION.

THE SEPARATION OF WATER MAINS FROM SEWER MAINS SHALL BE IN ACCORDANCE WITH SECTIONS 41-2.01A AND SECTION 41-2.01B OF THE STANDARD SPECIFICATIONS FOR WATER MAIN AND SEWER CONSTRUCTION IN ILLINOIS SEVENTH EDITION OR LATEST VERSION.

THE SANITARY SEWER SHALL BE PLACED IN ACCORDANCE WITH SECTION 31 OF THE STANDARD SPECIFICATIONS FOR WATER MAIN AND SEWER CONSTRUCTION IN ILLINOIS SEVENTH EDITION OR LATEST VERSION AND THE CITY OF DECATUR, ILLINOIS CONSTRUCTION STANDARDS.

THE SANITARY SEWER LEAKAGE TESTING SHALL BE THE AIR TESTING METHOD AS DESCRIBED IN THE SSWSC.

THE SANITARY SEWER DEFLECTION TESTING SHALL BE IN ACCORDANCE WITH SECTION 31-1.13 OF THE STANDARD SPECIFICATIONS FOR WATER MAIN AND SEWER CONSTRUCTION IN ILLINOIS SEVENTH EDITION OR LATEST VERSION, WHICH SHALL INCLUDE THE USE OF A MANDREL.

THE SANITARY SEWER SHALL ALSO BE VIDEO TAPED. TWO COPIES OF THE VIDEO ON DVD OR CD ALONG WITH THE REPORT MUST BE PROVIDED TO THE ENGINEER PRIOR TO APPROVAL.

SANITARY MANHOLES SHALL BE TESTED FOR WATERTIGHTNESS BY EITHER OF THE FOLLOWING METHODS; ASTM C 969 OR ASTM C 1244.

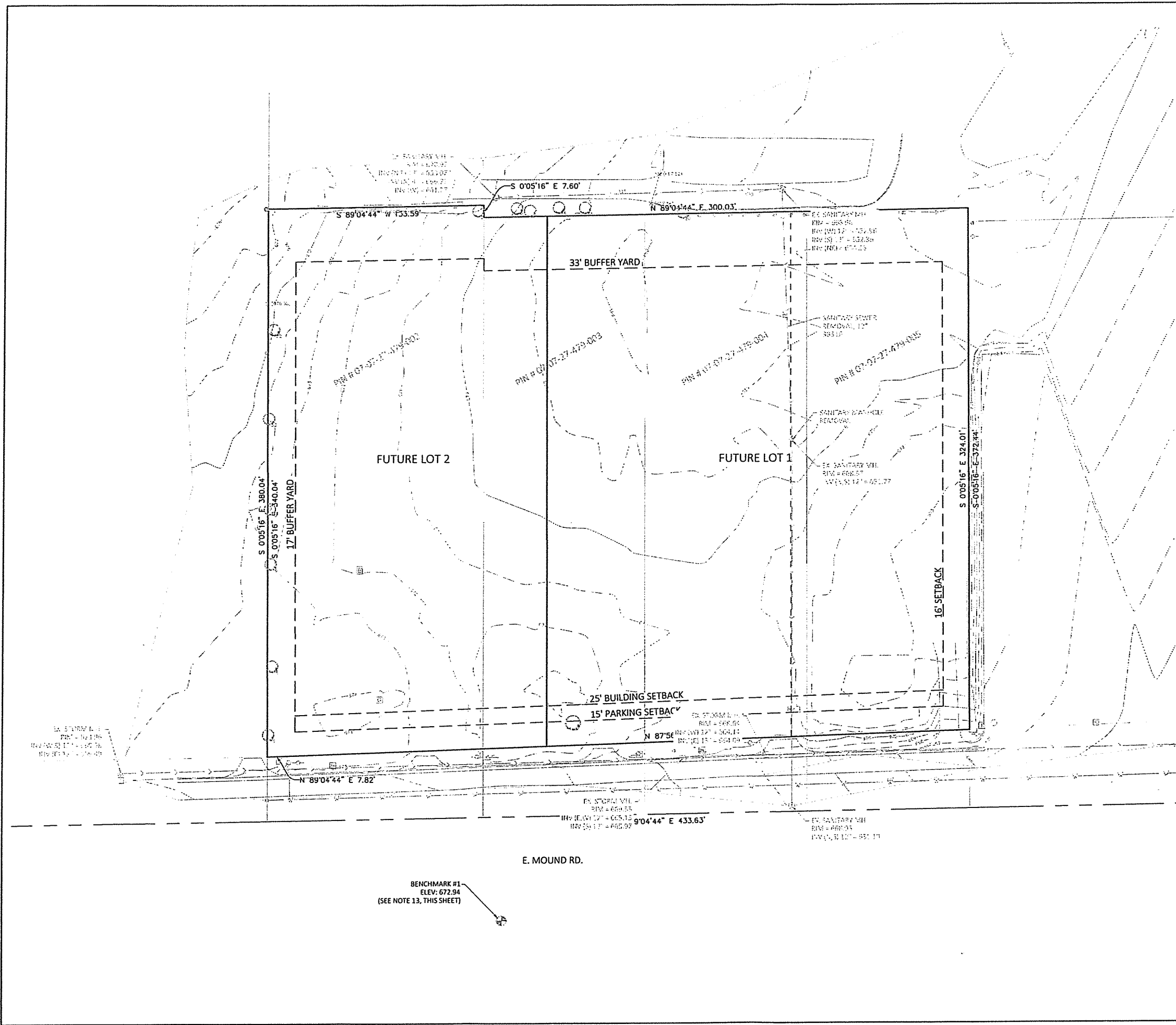
PORTLAND CEMENT CONCRETE ROADWAY PAVEMENT

THE CONTRACTOR SHALL PLACE PORTLAND CEMENT CONCRETE ROADWAY PAVEMENT AS SHOWN IN THE PLANS. THIS WORK SHALL MEET THE REQUIREMENTS OF SECTION 420 OF THE SSRB AND ALL OTHER REFERENCED ARTICLES AND SECTIONS.

REMOVING EXISTING MANHOLE

THE CONTRACTOR SHALL REMOVE THE EXISTING MANHOLES WHERE INDICATED IN THE PLANS. THIS WORK SHALL MEET THE REQUIREMENTS OF SECTION 605 OF THE SSRB AND ALL OTHER REFERENCED ARTICLES AND SECTIONS.

BY	DATE	REVISIONS/ISSUED AND REVISIONS	PROJECT NO.	FIELD BOOK NO.	START DATE	APRIL 26, 2018	CH/NO	DRAWN BY	CHECKED BY	PWC REF. NO.	FILE LOCATION	DEVELOPERS
CHASTAIN & ASSOCIATES LLC CONSULTING ENGINEERS DECATUR SCHLAUMBURG ROCKFORD (317) 422-8644 (773) 714-0050 (815) 489-0050 184-001397												
STATE OF ILLINOIS MARY E. CAVE 062-060331 PROFESSIONAL ENGINEER												
EXP. 11/30/19												
GENERAL NOTES/SPEC PLANNED DEVELOPMENT ADDRESS DECATUR, IL												
sheet no. PD-2												
project no. 6861												



- NOTES:**
1. SITE ACREAGE: 3.3 AC.
 2. ZONING:

EXISTING PROPERTY ZONING: R-3
PROPOSED PROPERTY ZONING: PLANNED DEVELOPMENT
SECTION: XIX
PROPOSED USE(S): RETAIL, OFFICE, RESTAURANT
 3. EXISTING BUILDINGS ON SITE.
 4. NO EXISTING SIGNS ON SITE.
 5. CONTRACTOR SHALL CONDUCT A SITE INSPECTION PRIOR TO STARTING THE PROJECT. FIELD CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS COMPLETED.
 6. LOCATIONS OF EXISTING UTILITIES ARE SHOWN BASED ON SURVEYED AND ARCHIVAL DATA. THE ILLUSTRATED LOCATION SHALL BE ASSUMED TO BE APPROXIMATE. PRIOR TO EARTH MOVING ACTIVITIES A UTILITY LOCATE SHALL BE CONDUCTED.
 7. THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD AS PER RATE MAP PANEL 1711SC0189E WITH AN EFFECTIVE DATE OF JUNE 7TH, 2017.
 8. CONTRACTOR SHALL REFERENCE GENERAL NOTES AND SPECIFICATIONS SHEET FOR REMOVAL SPECIFICATIONS.
 9. ALL PAVEMENT AND SIDEWALKS SHALL BE SAWCUT THE FULL DEPTH PRIOR TO REMOVAL.
 10. CONTRACTOR SHALL SAWCUT PAVEMENT AND SIDEWALK AT THE PROPOSED DIMENSION OR NEXT FURTHEST JOINT IF SAID JOINT IS LESS THAN 2 FEET AWAY.
 11. CONTRACTOR SHALL COORDINATE ALL UTILITY REMOVALS WITH THE AFFECTED UTILITY PROVIDER PRIOR TO PERFORMING WORK.
 12. CONTRACTOR SHALL SECURE THE SITE WITH ALL NECESSARY BMP'S PRIOR TO PERFORMING DEMOLITION/REMOVAL WORK ON THE SITE.
 13. BENCHMARK DATA:

BENCHMARK #1: TOP OF CONCRETE LIGHT POLE FOUNDATION LOCATED ON THE SOUTH SIDE OF MOUND RD. ON THE NORTH EDGE OF THE PARKING LOT APPROXIMATELY HALFWAY BETWEEN VERIZON STORE AND OLIVE GARDEN (SEE LOCATION ON DRAWING)
ELEV: 672.94

LEGEND	
	EXISTING CABLE LINE
	EXISTING TELEPHONE LINE
	EXISTING ELECTRICAL LINE
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING FIRE HYDRANT
	EXISTING CURB & GUTTER
	EXISTING SIDEWALK
	EXISTING CONTOUR
	EXISTING MANHOLE
	EXISTING LIGHT POLE
	PIN FOUND
	EXISTING ELEVATION



BY	DATE	REVISION/ISSUED
IND	05/22/2018	TRC COMMENTS

PROJECT NO.	6861
FIELD BOOK NO.	515
START DATE	APRIL 26, 2018
DRAWN BY	CH/JNO
CHECKED BY	MEC
CIA REF NO.	N/A
PRC REF NO.	N/A
FILE LOCATION	INDVELOPERS

CHASTAIN & ASSOCIATES LLC
CONSULTING ENGINEERS

DECATUR
SCHAEFERBURG
ROCKFORD

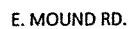
(317) 422-8644
(773) 714-0050
(815) 489-0650

184-001997

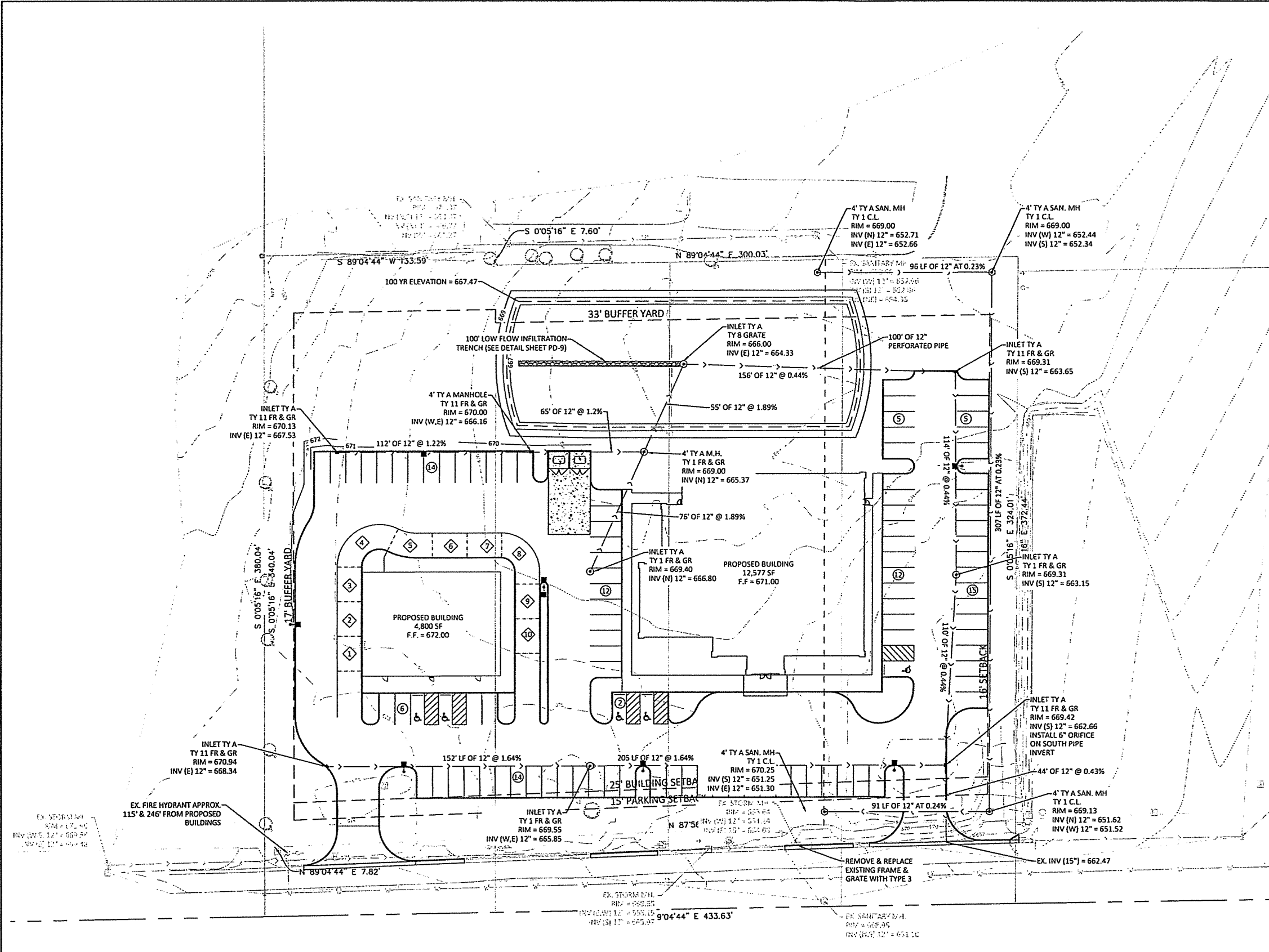
STATE OF ILLINOIS
MARY E. CAVE
062-060331
PROFESSIONAL ENGINEER

EXP. 11/30/19

EXISTING TOPOGRAPHY	PLANNED DEVELOPMENT ADDRESS
	DECATUR, IL
Sheet no.	PD-3
Project no.	6861



Project no.
5861



- NOTES:**
1. SITE ACREAGE: 3.3 AC.
 2. TOTAL ONSITE IMPERVIOUS AREA: 72,597 SF.
 3. FIRE FLOW REQUIRED FOR TYPE II-B CONSTRUCTION TYPE (SPRINKLED) 12,577 SF BUILDING IS 1,250 GPM. MINIMUM NUMBER OF HYDRANTS = 1 @ 250 FT MAX. DISTANCE.
 4. FIRE FLOW REQUIRED FOR TYPE V-B CONSTRUCTION TYPE (UNSPRINKLED) 4,800 SF BUILDING IS 1,125 GPM. MINIMUM NUMBER OF HYDRANTS = 1 @ 250 FT MAX. DISTANCE.
 5. CONTRACTOR SHALL REFERENCE GENERAL NOTES AND SPECIFICATIONS SHEET FOR NOTES AND SPECIFICATIONS RELATING TO WATER MAIN, SANITARY SEWER, UNDERGROUND DETENTION, AND OTHER UTILITY RELATED CONSTRUCTION.
 6. CONTRACTOR SHALL REFERENCE TOPO PLAN FOR BENCHMARK DATA.
 7. STORM DETENTION:
REQUIRED: 13,188 CF (AT 100 YR ELEVATION)
PROVIDED: 13,231 CF (AT 100 YR ELEVATION)
PROVIDED: 37,793 CF (AT TOP OF BANK)
REQUIRED FREEBOARD: 0.74 FT
PROVIDED FREEBOARD: 1.53 FT (TOP OF BANK TO 100 YR ELEV.)
 8. LENGTH OF STORM SEWER IS FROM THE CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND INCLUDES ALL FITTINGS, TEES OR WYES.
 9. LENGTH OF SANITARY SEWER IS FROM THE CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND INCLUDES ALL FITTINGS, TEES, OR WYES.
 10. SANITARY FLOW:
SANITARY PERMIT NOT REQUIRED FOR ANY CONNECTIONS GREATER THAN 15 P.E.
 11. CLEANOUTS SHALL BE INSTALLED ON ALL DRAIN LINES WITHIN 5 FT OF THE BUILDING OR IN CHANGES OF DIRECTION GREATER THAN 45 DEGREES. WHERE TEE'S AND WYES ARE USED THE CLEANOUT SHALL BE PLACED UPSTREAM OF THE PROPOSED FITTING.
 12. CONTRACTOR SHALL REFERENCE THE MEP PLANS FOR ALL PROPOSED UTILITIES ENTERING/LEAVING THE BUILDING PRIOR TO THEIR INSTALLATION OUTSIDE OF BUILDING, TO VERIFY REVISIONS HAVE NOT BEEN COMPLETED SINCE FINAL COORDINATION OF UTILITIES.
 13. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH THE APPROPRIATE UTILITY PROVIDER.
 14. PROPOSED DOWNSPOUT CONNECTION SHALL BE MADE USING PREFABRICATED DOWNSPOUT ADAPTERS.
 15. CONTRACTOR SHALL CONNECT DOWNSPOUTS TO TRUNK SEWER.
 16. ALL EARTHWORK, STORM SEWER MATERIALS, PAVING MATERIALS, AND ASSOCIATED WORK TO BE DONE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) LATEST STANDARD SPECIFICATIONS, ALL OTHER ITEMS TO BE DONE IN ACCORDANCE WITH CITY OF DECATUR CONSTRUCTION STANDARDS.
 17. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS TO WORK IN PUBLIC RIGHT OF WAY. ALL WORK IN PUBLIC RIGHT OF WAY MUST BE DONE BY A CONTRACTOR WHO IS LICENSED AND BONDED BY THE CITY OF DECATUR. THE APPROVAL OF THE SITE PLAN DOES NOT CONSTITUTE THE APPROVAL FOR THE CONTRACTOR TO DO WORK IN THE PUBLIC RIGHT OF WAY WITHOUT SAID PERMITS.
 18. CONTRACTOR SHALL REFERENCE SHEET PD-8 FOR INFORMATION RELATING TO SITE LIGHTING AND SITE PHOTOMETRICS.
 19. ALL TRENCHES WITHIN 2 FEET OF PAVED SURFACE SHALL BE GRANULAR BACKFILLED IN ACCORDANCE WITH TRENCH BACKFILL SPECIFICATION.
 20. STORM SEWER AND STORM DETENTION TO BE MAINTAINED BY BOTH PROPERTY OWNERS AS ESTABLISHED IN THE OWNER'S DECLARATION FOR THE FINAL SUBDIVISION PLAT NOT YET SUBMITTED.
 21. FIRE DEPARTMENT CONNECTION WILL BE PLACED ON THE SOUTH FACE OF EAST BUILDING.

LEGEND

---	EXISTING STORM SEWER
---	EXISTING SANITARY SEWER
---	EXISTING WATER LINE
---	EXISTING TELEPHONE LINE
---	EXISTING FIRE HYDRANT
---	EXISTING GAS LINE
---	PROPOSED ELECTRIC
---	PROPOSED STORM SEWER
---	PROPOSED SANITARY SEWER
---	PROPOSED WATER LINE
---	PROPOSED GAS LINE
---	PROPOSED AERIAL ELECTRIC
+	PROPOSED POWER POLE
⊙	PROPOSED MANHOLE
—	PROPOSED INLET

30' 0' 30'

REVISED/ISSUED	DATE	BY	NO.	COMMENTS
	05/23/2018			

PROJECT NO.	5861
FIELD BOOK NO.	515
START DATE	APRIL 26, 2018
DRAWN BY	CH/JNO
CHECKED BY	MEC
SCALE NO.	N/A
FILE LOCATION	INDYVELOPS

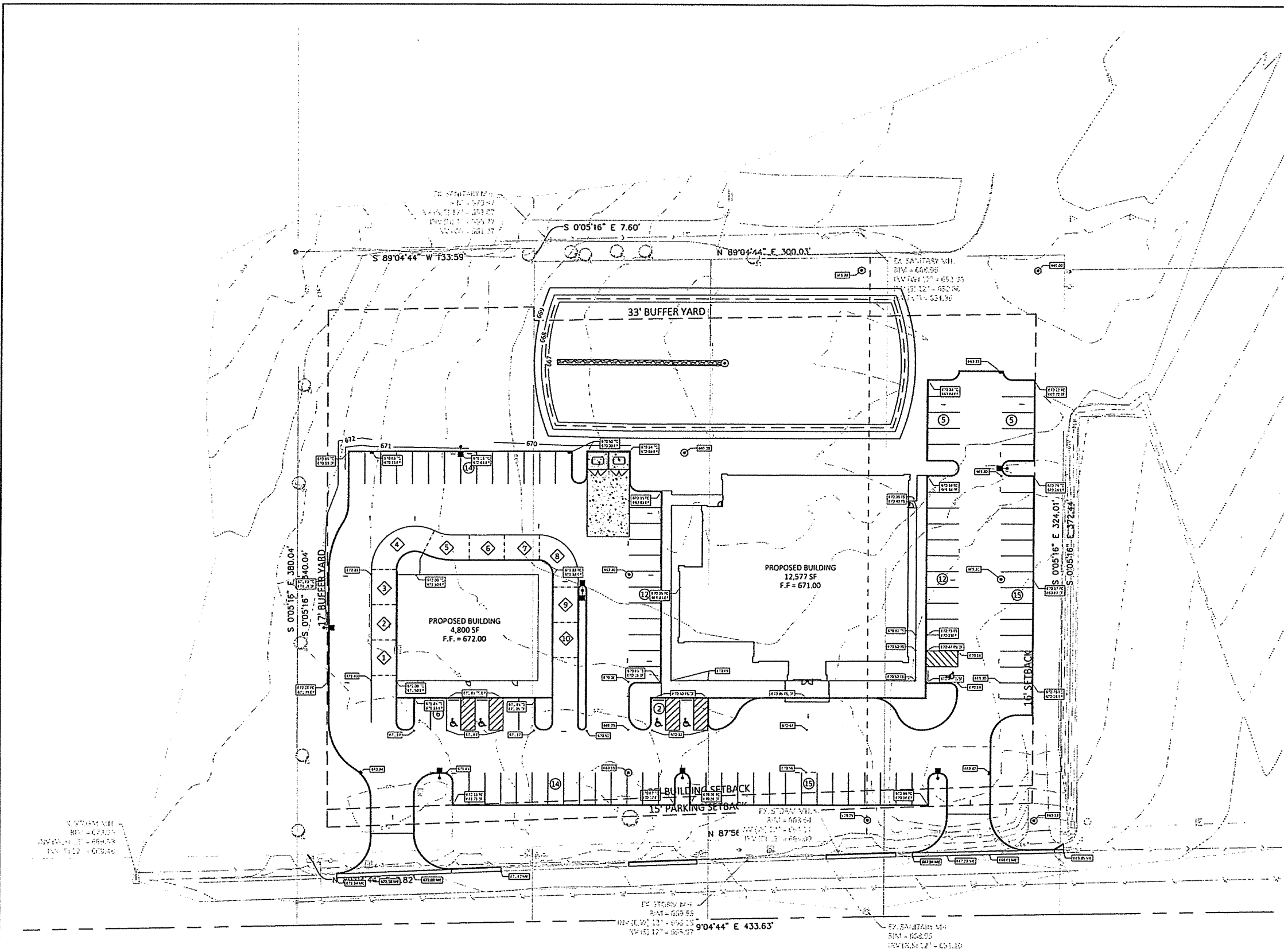
DECATUR (417) 422-8544
SCHAMBERG (773) 744-0050
ROCKFORD (815) 486-0050
184-001397

CHASTAIN & ASSOCIATES LLC
CONSULTING ENGINEERS

STATE OF ILLINOIS
MARY E. CAVE
062-060331
EXPIRATION DATE
EXP. 11/30/19

UTILITY PLAN
PLANNED DEVELOPMENT
ADDRESS
DECATUR, IL

Sheet no.
PD-5
Project no.
6861



- NOTES:**
1. SITE ACREAGE: 3.3 A.C.
 2. CONTRACTOR SHALL REFERENCE GENERAL NOTES AND SPECIFICATIONS SHEET FOR NOTES AND SPECIFICATIONS RELATING TO PAVEMENT, SIDEWALKS, CURB & GUTTER, PAVEMENT STRIPING, ETC.
 3. ALL EARTHWORK, STORM SEWER MATERIALS, PAVING MATERIALS, AND ASSOCIATED WORK TO BE DONE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) LATEST STANDARD SPECIFICATIONS. ALL OTHER ITEMS TO BE DONE IN ACCORDANCE WITH CITY OF DECATUR CONSTRUCTION STANDARDS.
 4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS TO WORK IN PUBLIC RIGHT OF WAY. ALL WORK IN PUBLIC RIGHT OF WAY MUST BE DONE BY A CONTRACTOR WHO IS LICENSED AND BONDED BY THE CITY OF DECATUR. THE APPROVAL OF THE SITE PLAN DOES NOT CONSTITUTE THE APPROVAL FOR THE CONTRACTOR TO DO WORK IN THE PUBLIC RIGHT OF WAY WITHOUT SAID PERMITS.
 5. CONTRACTOR SHALL REFERENCE SIGHT LIGHTING (SHEET PD-8) FOR INFORMATION RELATING TO SITE LIGHTING AND SITE PHOTOMETRICS.
 6. ALL TRENCHES WITHIN 2 FEET OF PAVED SURFACE SHALL BE GRANULAR BACKFILLED IN ACCORDANCE WITH TRENCH BACKFILL SPECIFICATION.
 7. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS, CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL PRIOR TO PROCEEDING WITH WORK.
 8. PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
 9. ALL RADII ARE DIMENSIONED TO THE BACK OF CURB, OR EDGE OF PAVEMENT IF NO CURB IS PRESENT.
 10. ALL COORDINATES AND DIMENSIONS ARE REFERENCED TO THE BACK OF CURB, UNLESS NOTED OTHERWISE.

LEGEND

⊙	PROPOSED INLET
○	PROPOSED MANHOLE
DS	PROPOSED DOWNSPOUT
TC	TOP OF CURB
TS	TOP OF SIDEWALK
EP	EDGE OF PAVEMENT
M.E.G.	MATCH EXISTING GRADE
100	EXISTING CONTOUR
XXX.XX	EXISTING SPOT SHOT
100	PROPOSED ELEVATION
100	PROPOSED SLOPE
100	PROPOSED CONTOUR
100	PROPOSED WATER COURSE

Scale: 0' 30'

PROJECT NO.	6861	REVISION/ISSUED	
FIELD BOOK NO.	515	DATE	06/27/2018
START DATE	APRIL 26, 2018	PROJECT COMMENTS	
DRAWN BY	CH/JNO		
CHECKED BY	MEC		
CRA REF. NO.	N/A		
PWC REF. NO.	N/A		
FILE LOCATION	11/DEVELOPER		

CHASTAIN & ASSOCIATES LLC
CONSULTING ENGINEERS
DECATUR, IL 62521
(317) 422-8544
(773) 714-0050
(815) 489-0050
184-001397

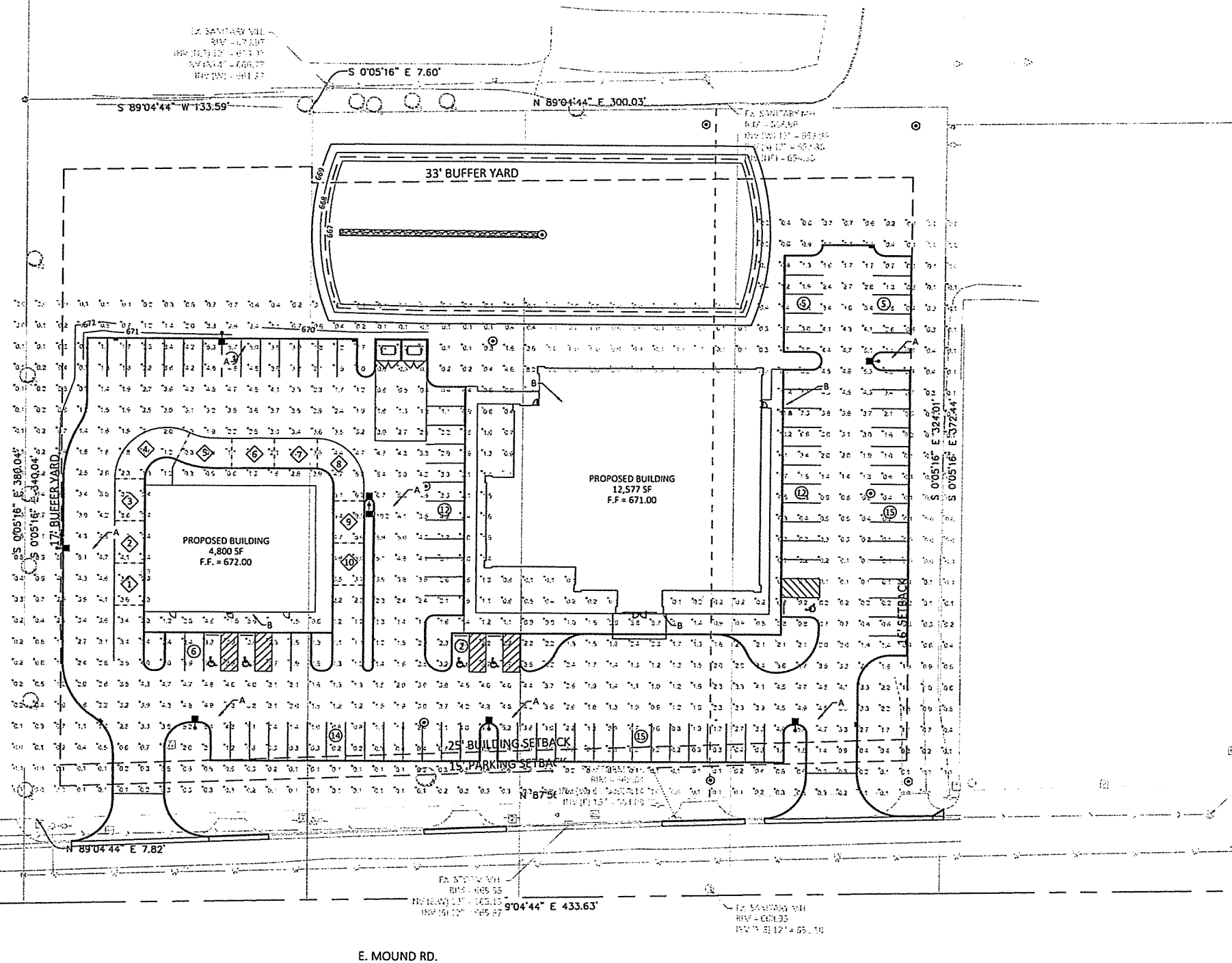
STATE OF ILLINOIS
MARY E. CAVE
062-060331
PROFESSIONAL ENGINEER
EXP. 11/30/19

GRADING PLAN
PLANNED DEVELOPMENT
ADDRESS
DECATUR, IL

Sheet no.
PD-6
Project no.
6861



LANDSCAPE PLAN PLANNED DEVELOPMENT ADDRESS DECATUR, IL	sheet no. PD-7			(217) 422-8544 START DATE APRIL 26, 2018 (773) 714-0050 PROJECT NO. 184-001397 CHECKED BY MJC DESIGNED BY N/A CBA REF. NO. N/A FILE LOCATION DEVELOPERS	PROJECT NO. 6861	FIELD BOOK NO. 515	PROJECT NO. 6861	REV. DATE 05/22/2018	REVISION/ISSUED ITR COMMENTS
	project no. 6861								



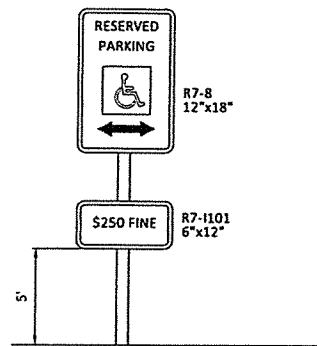
NOTES

1. STATISTICS:
AVG ILLUMINATION: 1.7 FC
MAXIMUM: 11.8 FC
MINIMUM: 0.0 FC
2. DESCRIPTION:
A.) SINGLE HEAD LITHONIA "DSX1 LED P8 40K T3M MVOLT HS"
- 1 LLF
- 207 WATTS
- LIGHT FIXTURE MOUNTED ON A 25' POLE
- PROVIDE LITHONIA "RTS 20 5-98 DM19AS DBLXD" POLE OR APPROVED EQUAL
B.) DOUBLE HEAD LITHONIA "DSX1 LED P8 40K T3M MVOLT HS"
- 1 LLF
- 414 WATTS
- LIGHT FIXTURE MOUNTED ON A 25' POLE
- PROVIDE LITHONIA "RTS 20 5-98 DM28AS DBLXD" POLE OR APPROVED EQUAL
C.) WALLPACK "CSX LED 30C 1000 40K T3M"
- 1 LLF
- 104 WATTS
- LIGHT FIXTURE WALL MOUNTED AT 10' HEIGHT

LEGEND

- POLE LIGHT, A
- WALLPACK, B

PROJECT NO.	6861	FIELD BOOK NO.	515	START DATE	APRIL 26, 2018	CH/NO	CH/NO	CHECKED BY	MEC	CRA REF. NO.	N/A	FILE LOCATION	DEVELOPERS
DECATUR, IL 62521 (317) 422-8544 SCHALMURG ROCKFORD (815) 489-0550 184-001397													
CHASTAIN & ASSOCIATES LLC CONSULTING ENGINEERS													
STATE OF ILLINOIS MARY E. CAVE 062-060331 PROFESSIONAL ENGINEER EXP. 11/30/19													
PHOTOMETRICS PLAN PLANNED DEVELOPMENT ADDRESS DECATUR, IL													
sheet no. PD-8													
project no. 6861													



ACCESSIBLE PARKING SIGNAGE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SIGNAGE CONCURRENT WITH LOCAL MUNICIPALITY CODES

(NOT TO SCALE)

EFFECTIVE JANUARY 1, 1985, PUBLIC ACT 83-1316 AMENDED SEC. 11-301 OF "THE ILLINOIS VEHICLE CODE" TO REQUIRE PARKING SIGNS (FOR PARKING LOTS SUBJECT TO "THE ILLINOIS VEHICLE CODE") TO COMPLY WITH THE R7-8 SIGN SHOWN BELOW (U.S. DEPARTMENT OF TRANSPORTATION STANDARD). EXISTING SIGNS MAY REMAIN, BUT THEIR USEFUL LIVES SHALL NOT BE EXTENDED BY OTHER MEANS OTHER THAN NORMAL MAINTENANCE.



COLORS
LEGEND AND BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE

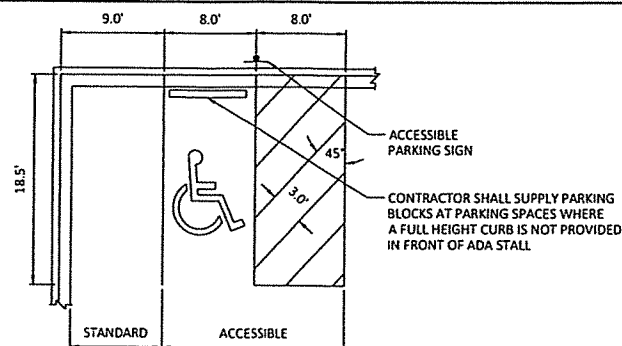


COLORS
LEGEND AND BORDER - GREEN NON REFLECTORIZED
BACKGROUND - WHITE REFLECTORIZED

NOTE: SIGNS SHALL BE MOUNTED 5 FEET ABOVE PAVING

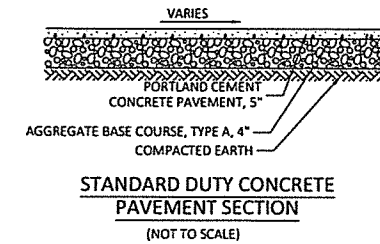
FINE AMOUNT AS PER CITY OF DECATUR ORDINANCE No. 96-04 ADOPTED FEBRUARY 5, 1996

NOTE: ALL ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH IDOT STANDARD 2356

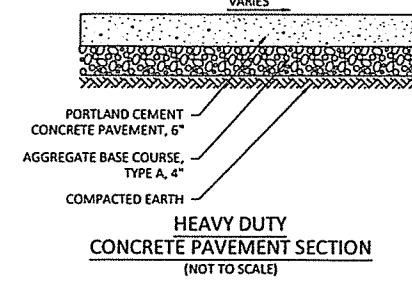


STRIPING DETAILS FOR STANDARD & ACCESSIBLE PARKING STALLS

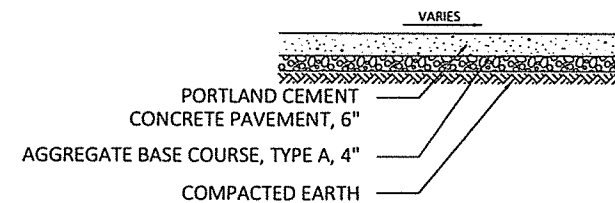
NOTE: THE ADA PARKING AREA SHALL HAVE A MAX. SLOPE OF 2% IN ANY DIRECTION. (NOT TO SCALE)



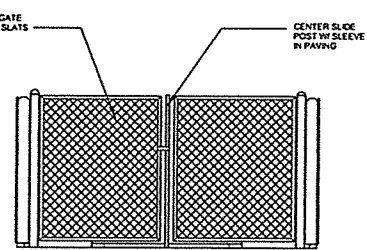
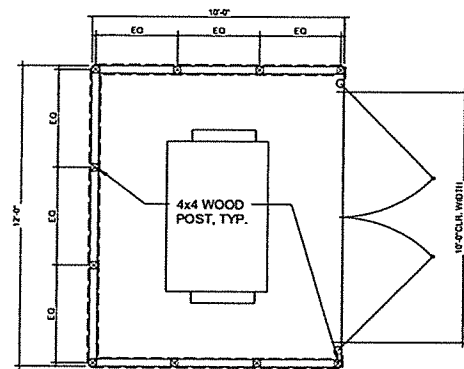
STANDARD DUTY CONCRETE PAVEMENT SECTION (NOT TO SCALE)



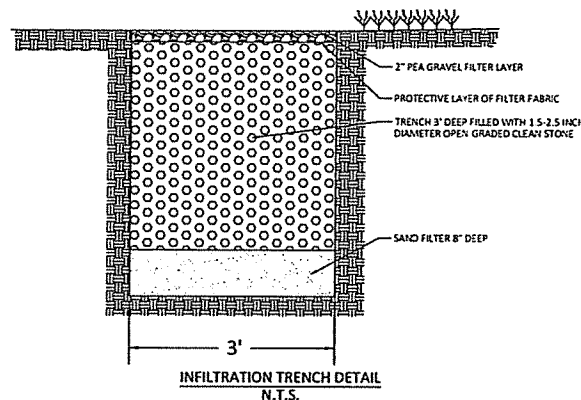
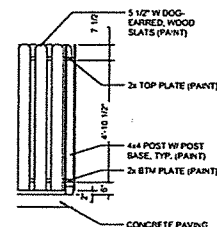
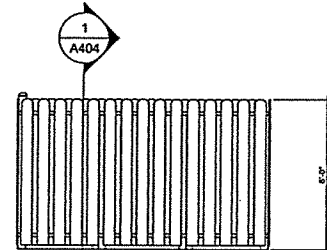
HEAVY DUTY CONCRETE PAVEMENT SECTION (NOT TO SCALE)



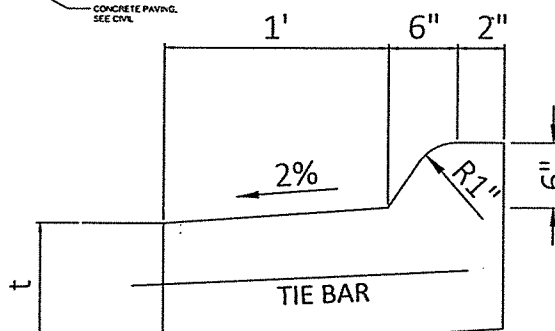
DRIVEWAY PAVEMENT SECTION (NOT TO SCALE)



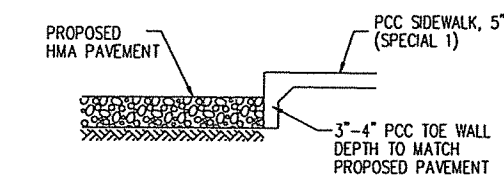
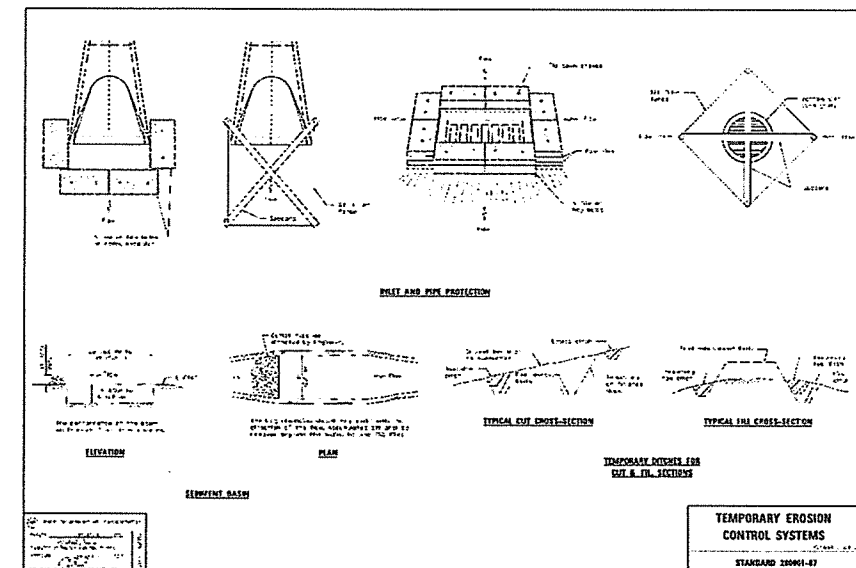
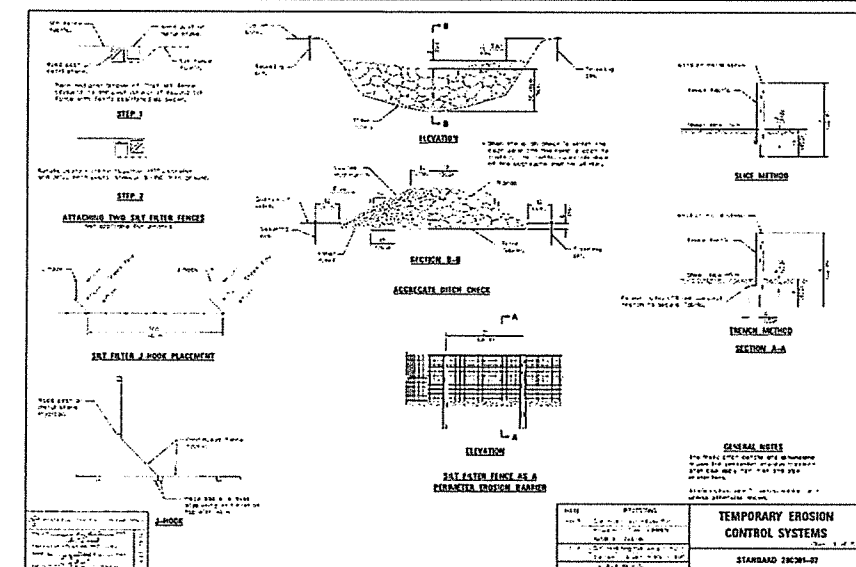
TRASH ENCLOSURE DETAIL



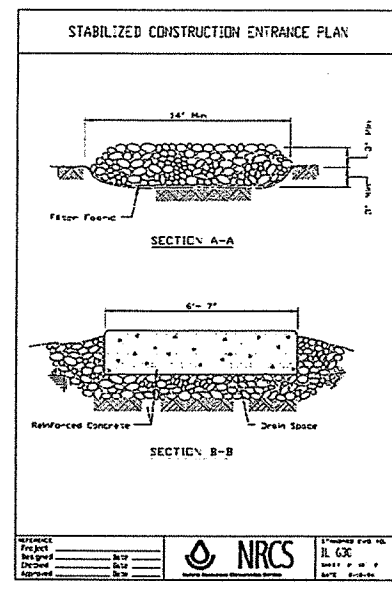
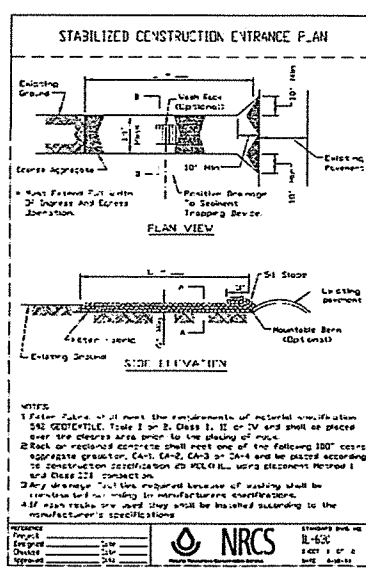
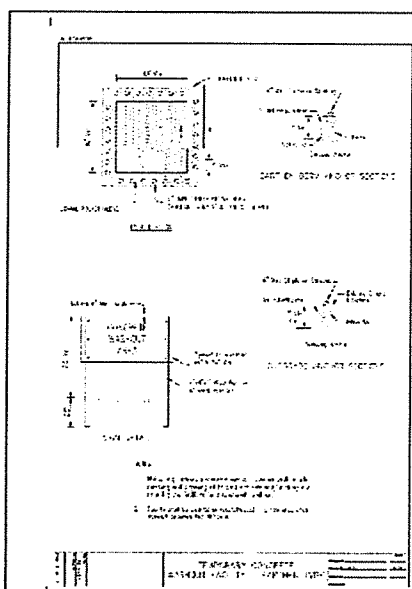
INFILTRATION TRENCH DETAIL N.T.S.



REVERSE FLAG GUTTER DETAIL



SIDEWALK WITH TOE WALL (NOT TO SCALE)



PROJECT NO.	6861	REVISION/ISSUED	
FIELD BOOK NO.	515	DATE	05/27/2018
START DATE	APRIL 26, 2018	BY	CH/NO
DRAWN BY	CH/NO	CHECKED BY	MEC
DESIGNED BY	MEC	SCALE	N/A
DATE	05/27/2018	FILE LOCATION	184-001997
PROJECT NO.	6861	REVISION/ISSUED	
FIELD BOOK NO.	515	DATE	05/27/2018
START DATE	APRIL 26, 2018	BY	CH/NO
DRAWN BY	CH/NO	CHECKED BY	MEC
DESIGNED BY	MEC	SCALE	N/A
DATE	05/27/2018	FILE LOCATION	184-001997
PROJECT NO.	6861	REVISION/ISSUED	
FIELD BOOK NO.	515	DATE	05/27/2018
START DATE	APRIL 26, 2018	BY	CH/NO
DRAWN BY	CH/NO	CHECKED BY	MEC
DESIGNED BY	MEC	SCALE	N/A
DATE	05/27/2018	FILE LOCATION	184-001997

CHASTAIN & ASSOCIATES LLC
CONSULTING ENGINEERS

DECATUR
SCHAMBERG
ROCKFORD

(317) 422-9544
(773) 714-0050
(815) 489-0050

184-001997

STATE OF ILLINOIS
PROFESSIONAL ENGINEER
MARY E. CAVE
062-060331

EXP. 11/30/19

DETAILS

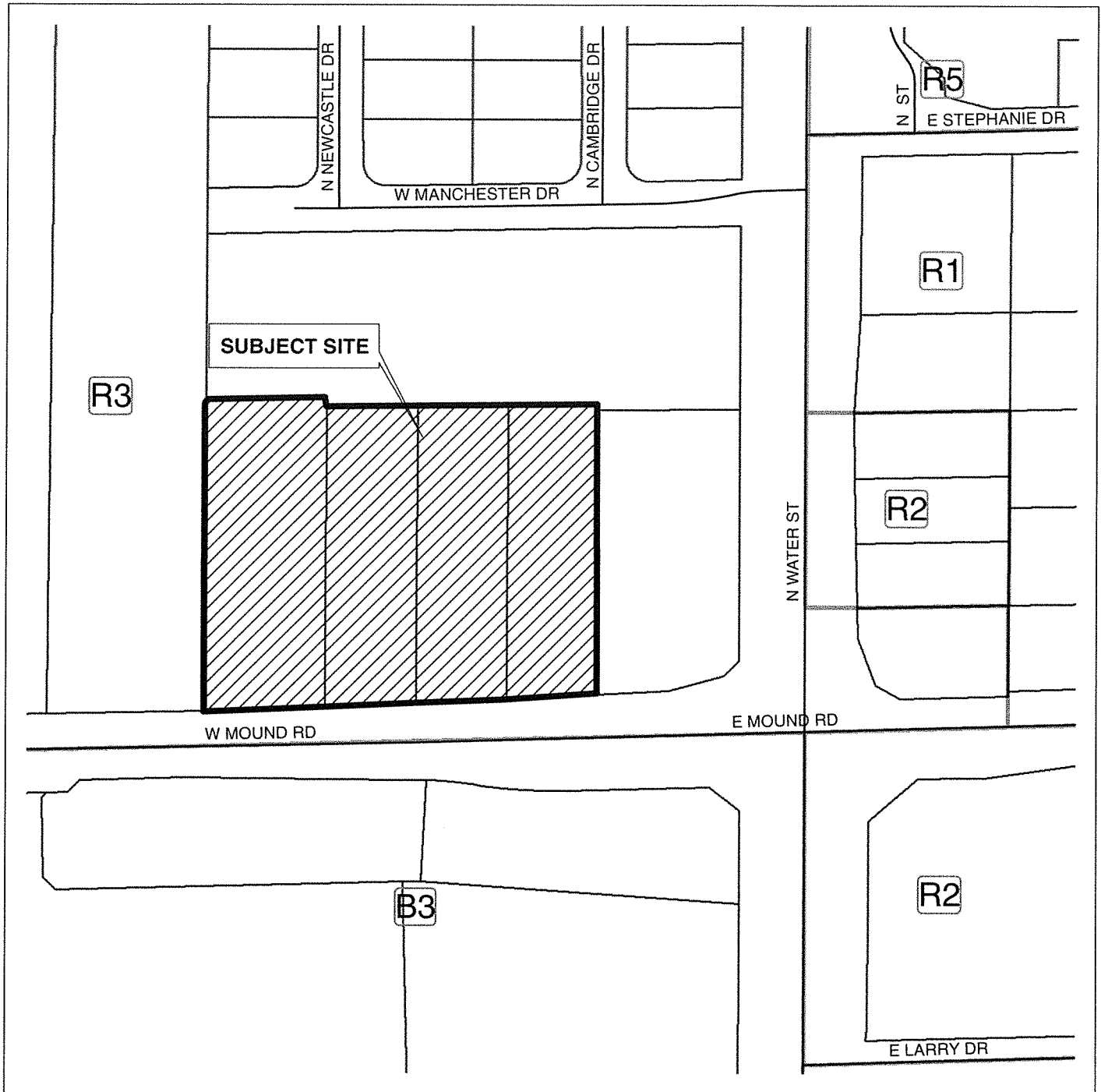
PLANNED DEVELOPMENT ADDRESS
DECATUR, IL

SHEET NO.
PD-9

PROJECT NO.
6861

Decatur City Plan Commission

110-140 West Mound Road



Case No.: 18-19
Date: June 7, 2018
Petition of: Mound Road Properties, LLC
Requested Action: Rezoning from R-3 to PD

0 120 240 480 Feet



Legend

- Decatur Roads
- Decatur Zoning
- ▨ Subject Site

Decatur City Plan Commission

110-140 West Mound Road



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Legend

- Decatur Roads
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- ▨ Subject Site