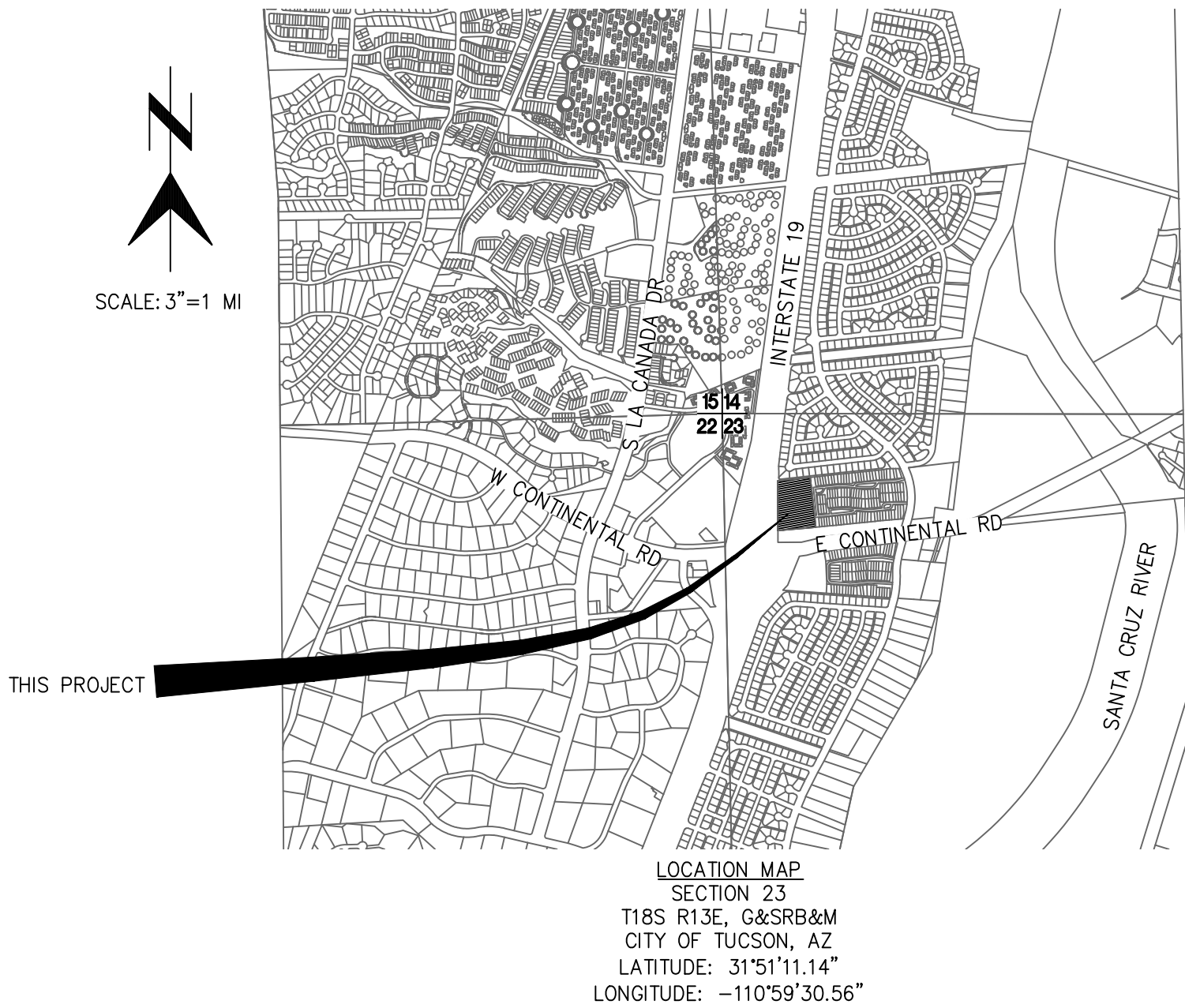


SITE CONSTRUCTION PERMIT
FOR
CIRCLE K – CONTINENTAL & I19



GENERAL NOTES

- THE ADMINISTRATIVE/SITE ADDRESS IS I-19 & CONTINENTAL RD, PIMA COUNTY, AZ.
- ASSESSOR'S PARCEL NUMBER(S) 304-27-00H. A LOT COMBINATION IS IN PROGRESS.
- THIS PROJECT WILL BE COMPLETED AS 01 PHASE.
- THE AREA OF THE SITE IS 109,321 S.F. (2.50 ACRES).
- THE AREA OF DISTURBANCE IS 132,477 S.F. (3.04 ACRES)(SWPPP IS REQUIRED). THE AREA OF DISTURBANCE IS SHOWN ON THE GRADING PLAN.
- THE WATER SERVICE PROVIDER IS COMMUNITY WATER COMPANY OF GREEN VALLEY.
- PRIOR TO GROUND MODIFYING ACTIVITIES, AN ON-THE-GROUND ARCHAEOLOGICAL AND HISTORIC SITES SURVEY SHALL BE CONDUCTED ON THE SUBJECT PROPERTY. A CULTURAL RESOURCES MITIGATION PLAN FOR ANY IDENTIFIED ARCHAEOLOGICAL AND HISTORIC SITES ON THE SUBJECT PROPERTY SHALL BE SUBMITTED AT THE TIME OF, OR PRIOR TO, THE SUBMITTAL OF ANY TENTATIVE PLAN OR DEVELOPMENT PLANS. ALL WORK SHALL BE CONDUCTED BY AN ARCHAEOLOGIST PERMITTED BY THE ARIZONA STATE MUSEUM, OR A REGISTERED ARCHITECT, AS APPROPRIATE. FOLLOWING REZONING APPROVAL, ANY SUBSEQUENT DEVELOPMENT REQUIRING A TYPE II GRADING PERMIT WILL BE REVIEWED FOR COMPLIANCE WITH PIMA COUNTY'S CULTURAL RESOURCES REQUIREMENTS UNDER CHAPTER 18.81 OF THE PIMA COUNTY ZONING CODE.

ADDRESSING/LEGAL NOTES:

- EXISTING EASEMENTS:
 - PUBLIC UTILITY EASEMENT PER BK 63 OF MISCELLANEOUS, PG 171
 - PUBLIC WATER EASEMENT PER DKT 9420, PG 369
 - RECORD OF SURVEY PER BK 49 OF SURVEYS, PG 1
- NEW PUBLIC WATERLINE EASEMENT(S) ARE NOT PROPOSED.
- NEW PUBLIC SEWERLINE EASEMENT(S) ARE NOT PROPOSED.
- NEW PUBLIC RIGHT-OF-WAY DEDICATION(S) ARE NOT PROPOSED.
- NEW TRAIL DEDICATION(S) ARE NOT PROPOSED.

ZONING NOTES:

- EXISTING ZONING IS CB-1.
- PROPOSED ZONING IS CB-1.
- THE EXISTING USE IS VACANT.
- THE PROPOSED USE IS GENERAL RETAIL.

FLOOD CONTROL AND RIPARIAN NOTES:

- GRADING LIMITS ARE SHOWN ON SHEET(S) 07 – GRADING PLAN.
- THE SITE DOES NOT CONTAIN REGULATED RIPARIAN HABITAT.

TRANSPORTATION NOTES:

- NO STRUCTURES OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SECTION 3.2 OF THE 2016 PIMA COUNTY SUBDIVISION AND DEVELOPMENT STREET STANDARDS.
- TOTAL MILES OF NEW PUBLIC STREETS IS 00 MILES.
- TOTAL MILES OF NEW PRIVATE STREETS IS 00 MILES.
- THE EASTERN PIMA COUNTY TRAILS SYSTEM MASTER PLAN DOES NOT SHOW ANY TRAILS ON OR ADJACENT TO THE DEVELOPMENT SITE.
- THE POSTED SPEED LIMIT FOR E CONTINENTAL RD IS 35 MPH
- THE POSTED SPEED LIMIT FOR INTERSTATE 19 IS 75 MPH

PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT:

- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED.
- ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINED ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING OR BUILDING PLANS.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF PIMA
- BACKWATER VALVES ARE NOT REQUIRED FOR THIS PROJECT.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED.
- CONSTRUCTION SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. CALL BLUE STAKE (1-800-782-5348) TWO FULL WORKING DAYS PRIOR TO EXCAVATION.

DRAINAGE NOTES:

- A FLOODPLAIN USE PERMIT IS REQUIRED FOR THE GRADING AND CONSTRUCTION OF THE INFRASTRUCTURE.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS PLAN.
- SUBJECT PARCEL IS WITHIN UNSHADED ZONE 'X' ACCORDING TO F.I.R.M. 04019C3955L.
- THE OWNER SHALL BE SOLELY RESPONSIBLE FOR OPERATION, MAINTENANCE AND LIABILITY FOR DRAINAGE STRUCTURES AND DETENTION BASINS. COUNTY STAFF MAY PERIODICALLY INSPECT THE DRAINAGE FACILITIES TO VERIFY THAT SCHEDULED AND UNSCHEDULED MAINTENANCE IS BEING PERFORMED ADEQUATELY. THE OWNER AGREES TO REIMBURSE THE COUNTY FOR COSTS DIRECTLY ASSOCIATED WITH MAINTAINING THE DRAINAGE FACILITIES SHOULD THE COUNTY REASONABLY FIND THE OWNER DEFICIENT IN HIS OBLIGATION TO ADEQUATELY MAINTAIN HIS DRAINAGE FACILITIES.
- THIS PROJECT IS REQUIRED TO PROVIDE STORMWATER DETENTION AND RETENTION. THE TOTAL VOLUME OF RETENTION PROVIDED IS 14,717 CUBIC FEET.

GRADING NOTES:

- CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. CALL BLUE STAKE (1-800-782-5348) TWO FULL WORKING DAYS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL GIVE FORTY-EIGHT (48) HOURS NOTICE WHEN HE SHALL REQUIRE THE SERVICES OF THE ENGINEER OF ANY OTHER PERSON PROPERLY AUTHORIZED FOR SUCH PURPOSE FOR LAYING OUT ANY PORTION OF THE WORK. HE SHALL ALSO DIG ALL STAKE HOLES NECESSARY TO GIVE LINE AND LEVELS AND SHALL PROVIDE ASSISTANCE CALLED FOR BY THE ENGINEER OR HIS ASSISTANTS UPON ANY PART OF THE WORK WHENEVER SO REQUESTED.
- THE CONTRACTOR SHALL PRESERVE ALL STAKES SET FOR THE LINES, LEVELS OR MEASUREMENTS OF THE WORK IN THEIR PROPER PLACES UNTIL AUTHORIZED TO REMOVE THEM BY THE ENGINEERS. ANY EXPENSE INCURRED IN REPLACING ANY STAKES WHICH THE CONTRACTOR OR HIS SUBORDINATES MAY HAVE FAILED TO PRESERVE SHALL BE CHARGED TO THE CONTRACTOR.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND SUPPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
- ALL ORGANIC MATERIAL SHALL BE REMOVED WITHIN THE CLEARING LIMITS FOR NECESSARY GRADING TO A DEPTH OF SIX (6) INCHES AND HAULED FROM THE SITE PRIOR TO GRADING.

DEVELOPMENT CALCULATIONS

CIRCLE K STORE: GENERAL RETAIL = 5,200 SF

VEHICLE PARKING SPACES:

TOTAL REQUIRED: 3.5 SPACES/1,000 SF X 5,200 SF = 19 SPACES REQUIRED
TOTAL PROVIDED: = 24 SPACES PROVIDED

ACCESSIBLE PARKING:

TOTAL REQUIRED: 1-24 SPACES REQUIRED (19 SPACES) = 1 REQUIRED
TOTAL PROVIDED: = 1 PROVIDED
*ALL ADA PARKING IS DESIGNED TO BE VAN ACCESSIBLE.

BICYCLE PARKING SPACES:

TOTAL REQUIRED: 2+(1/15 PARKING SPACES) X 19 SPACES = 4 SPACES REQUIRED
TOTAL PROVIDED: = 4 SPACES PROVIDED

LOADING SPACES:

TOTAL REQUIRED: <10,000 SF (LOW INTENSITY) = 0 REQUIRED
TOTAL PROVIDED: = 0 PROVIDED

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
01	COVER SHEET
02	NOTES SHEET
03	OVERALL SITE PLAN
04	DEMOLITION PLAN
05	DIMENSIONAL SITE PLAN
06	SITE PLAN
07	GRADING PLAN
08	UTILITY PLAN
09	DETAIL SHEET 1
10	DETAIL SHEET 2
11	SWPPP
12	SWPPP DETAILS 1
13	SWPPP DETAILS 2
14	SWPPP DETAILS 3
15	SWPPP DETAILS 4

LEGEND

---	EXISTING IMPROVEMENTS
---	PROPERTY BOUNDARY
---	EXISTING WATER LINE
---	EXISTING ELECTRIC LINE
---	EXISTING FIRE LINE
---	EXISTING GAS LINE
---	EXISTING SEWER LINE
---	PROPOSED WATER LINE
---	PROPOSED ELECTRIC LINE
---	PROPOSED FIRE LINE
---	PROPOSED GAS LINE
---	PROPOSED SEWER LINE
---	PROPOSED STRIPING
---	EXISTING STRIPING
---	PROPOSED SIDEWALK
---	EXISTING SIDEWALK
---	PROPOSED BUILDING
---	PROPOSED COVERED PARKING
---	EXISTING GRADE
---	EDGE OF PAVEMENT GRADE
---	FINISHED GRADE
---	HIGH POINT
---	LOW POINT
---	SIDEWALK GRADE
---	SLOPE ARROW
---	BASIS OF ELEVATION

OWNER/DEVELOPER
CIRCLE K STORES, INC
1120 WEST WARNER RD
TEMPE, AZ 85284
CONTACT: JILL KAISER
PHONE: 602-616-2494
EMAIL: JILL@LDCAZ.COM

GEOTECHNICAL ENGINEER
SPEEDIE AND ASSOCIATES
3125 E 47TH ST
TUCSON, AZ 85713
CONTACT: GREGG CREASER, PE
PHONE: 520-514-9411
EMAIL: WSMITH@SPEEDIE.NET
REG. NUMBER: 14388

ARCHITECT
GREENBERG FARROW
30 EXECUTIVE PARK, SUITE 130
IRVINE, CA 92614
CONTACT: SAMANTHA MURFF
PHONE: (385) 799-6530
EMAIL: SOROZCO@GREENBERGFARROW.COM

LAND SURVEYOR
HELIX ENGINEERING
3240 E UNION HILLS, SUITE 113
PHOENIX, AZ 85050
CONTACT: MICHAEL J THOMPSON, RLS
PHONE: 602-788-2616
EMAIL: INFO@HXENG.COM
REG. NUMBER: 25090

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
3300 E SUNRISE DR, SUITE 130
TUCSON, AZ 85718
CONTACT: ERIN HARRIS, PE
PHONE: (520) 615-9007
EMAIL: ERIN.HARRIS@KIMLEY-HORN.COM
REG. NUMBER: 42751

LANDSCAPE ARCHITECT
GRS LANDSCAPE ARCHITECTS, LLC
35974 S DESERT SUN DR
TUCSON, AZ 85739
CONTACT: GREG SHINN, RLA
PHONE: (520) 909-4678
EMAIL: GREGS@GRSLANDSCAPEARCHITECTS.COM
REG. NUMBER: 50732

BASIS OF BEARING: THE BASIS OF BEARING FOR THIS SITE IS THE NORTH LINE OF GREEN VALLEY DESERT MEADOWS TOWNHOMES, BK 28, PH 27, P.C.R., FROM A 2" BRASS CAP FLUSH AT THE NE CORNER OF SAID SUBDIVISION, SOUTH 84°22'33" WEST, 1479.57' (MEASURED) TO A REBAR WITH A 1.5" ALUMINUM CAP STAMPED "13472" AT THE NW CORNER OF SAID SUBDIVISION AND THE EASTERLY RIGHT OF WAY OF INTERSTATE 19.	
BASIS OF ELEVATION: THE BASIS OF ELEVATION FOR THIS SITE IS A BRASS CAP ON THE E. HEADWALL OF THE CATTLE GUARD ON THE S. BOUND EXIT RAMP OF I-19 AND CONTINENTAL ROAD, STAMPED "A.D.O.T. ELEV. 2904.32"	
CUT/FILL QUANTITIES: CUT: 5,943 CU. YD. FILL: 5,715 CU. YD. QUANTITIES PROVIDED FOR PERMITTING PURPOSES ONLY. CONTRACTOR TO VERIFY.	

1		
NO.	DATE	REVISION

COVER SHEET

SCALE: N/A

Kimley»Horn

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3300 East Sunrise Drive, Suite 130
Tucson, Arizona 85718 (520) 615-9191



SITE CONSTRUCTION PERMIT FOR CIRCLE K – CONTINENTAL & I19	
A PORTION OF THE SAN IGNACIO DE LA CANOA PRIVATE LAND GRANT, ACCORDING TO THE SURVEY OF SAID LAND GRANT MADE BY THE US SUEYOR GENERAL, ON MARCH 10, 1901 T18S, R13E OF THE GSRBM, PIMA COUNTY, AZ	
ADMINISTRATIVE ADDRESS: I-19 & CONTINENTAL RD, PIMA COUNTY, AZ	REFERENCE: X-XX-XXX
PLAN NO. XX-XXX-XXXX-XXXX	01 OF 15



SANITARY SEWER NOTES:

1. CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. CALL BLUE STAKE (1-800-782-5348) TWO FULL WORKING DAYS PRIOR TO EXCAVATION.
2. SEWER INVERT AT BUILDINGS IS 3.5' BELOW THE FINISHED FLOOR ELEVATION (FFE), AS SHOWN ON UTILITY SHEET.
3. MAXIMUM LENGTH BETWEEN CLEANOUTS ON 4" DIAMETER SEWER LINE IS BASED ON THE DEVELOPED PIPE LENGTH, NOT THE HORIZONTAL DISTANCE.
4. ALL SEWER LINES SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH PAG SECTION 508.
5. ALL SEWER PIPE SHALL BE GASKETED JOINT PVC (GREEN) PER PAG SECTION 1010-03.05.
6. BEDDING SHALL BE IN ACCORDANCE WITH PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT ENGINEERING DIRECTIVE ENG2008-16 (MODIFIED STANDARD DETAILS 104 AND 105). SHOULD GROUND WATER OR OTHER UNANTICIPATED SOIL CONDITIONS BE ENCOUNTERED, THE BEDDING SHALL BE MODIFIED AS DIRECTED BY THE ENGINEER. COMPACTION AND TESTING OF BACKFILL SHALL BE REQUIRED PER DIRECTIVE ENG 2010-11.
7. THIS SEWER IS DESIGNED AT THE MINIMUM SLOPE REQUIRED TO MAINTAIN A TERMINAL RUN VELOCITY OF GREATER THAN 3 FPS. THE CONTRACTOR IS TO USE CAUTION TO MAINTAIN THIS MINIMUM SLOPE REQUIREMENT DURING CONSTRUCTION.
8. EACH SEWER LINE WILL BE COVERED WITH AT LEAST 3' OF BACKFILL MEETING THE REQUIREMENTS OF A.A.C. SUBSECTION R18-9-E301D.2.H.I.

GRADING PLAN NOTES:

1. CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES BETWEEN THE CIVIL PLANS AND SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION IN THE AFFECTED AREA.
2. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF EARTH SPILLAGE, RUNOFF AND CONSTRUCTION WATER AND SHALL PROTECT ADJACENT PROPERTY AND EXISTING STRUCTURES FROM SUCH.
3. ALL CUT AND FILL SHALL BE CONTOURED TO BLEND WITH THE EXISTING CONTOURS OF THE ADJACENT NATURAL TERRAIN.
4. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES OR FOR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK.
5. ANY INSPECTIONS BY THE OWNER OR ENGINEER OF RECORD SHALL NOT IN ANY WAY RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN A STRICT COMPLIANCE WITH THE APPLICABLE CODES AND AGENCY REQUIREMENTS.
7. THIS GRADING AND DRAINAGE PLAN IS BASED ON THE SURVEY PROVIDED BY THE CLIENT. THE ENGINEER MAKES NO REPRESENTATION OF GUARANTEE REGARDING THE ACCURACY OF THE SURVEY DATA REFERENCED ON THE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING FEATURES, PROPERTY CORNERS, PROJECT BOUNDARIES, RIGHTS-OF-WAY, AND TOPOGRAPHIC SURVEY DATA PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY OF ANY DISCREPANCIES FOR RESOLUTION.
8. THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO VARIOUS FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.
9. PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL THOROUGHLY SATISFY THEMSELVES AS TO THE ACTUAL CONDITIONS AND EARTHWORK QUANTITIES.
10. ALL PUBLIC R/W IMPROVEMENTS AND UTILITIES ARE TO REMAIN UNLESS OTHERWISE NOTED ON THIS PLAN.
11. ADA PARKING SHALL HAVE A MAXIMUM 2% SLOPE IN ANY DIRECTION. RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 12:1 AND CROSS-SLOPE OF 2%. PATHS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0% AND CROSS-SLOPE OF 2%.
12. CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. CALL BLUE STAKE (1-800-782-5348) TWO FULL WORKING DAYS PRIOR TO EXCAVATION.THE CONTRACTOR SHALL GIVE FORTY-EIGHT (48) HOURS NOTICE WHEN HE SHALL REQUIRE THE SERVICES OF THE ENGINEER OF ANY OTHER PERSON PROPERLY AUTHORIZED FOR SUCH PURPOSE FOR LAYING OUT ANY PORTION OF THE WORK. HE SHALL ALSO DIG ALL STAKE HOLES NECESSARY TO GIVE LINE AND LEVELS AND SHALL PROVIDE ASSISTANCE CALLED FOR BY THE ENGINEER OR HIS ASSISTANTS UPON ANY PART OF THE WORK WHENEVER SO REQUESTED.
13. THE CONTRACTOR SHALL PRESERVE ALL STAKES SET FOR THE LINES, LEVELS OR MEASUREMENTS OF THE WORK IN THEIR PROPER PLACES UNTIL AUTHORIZED TO REMOVE THEM BY THE ENGINEERS. ANY EXPENSE INCURRED IN REPLACING ANY STAKES WHICH THE CONTRACTOR OR HIS SUBORDINATES MAY HAVE FAILED TO PRESERVE SHALL BE CHARGED TO THE CONTRACTOR.
14. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND SUPPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
15. ALL ORGANIC MATERIAL SHALL BE REMOVED WITHIN THE CLEARING LIMITS FOR NECESSARY GRADING TO A DEPTH OF SIX (6) INCHES AND HAULED FROM THE SITE PRIOR TO GRADING.
16. THE BUILDING SITE SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF FINISH BUILDING PAD ELEVATIONS AS STREETS AND PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF FINISH SUBGRADE.
17. COMPACTION IN ALL AREAS SHALL BE TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO DESIGNATION T-99, METHOD A. THOSE AREAS TO RECEIVE FILL ARE TO BE SCARIFIED TO A DEPTH OF SIX (6) INCHES, BROUGHT TO THE PROPER MOISTURE CONTENT AND COMPACTED TO THE ABOVE DENSITY. THE AREA SOURCE OF FILL MATERIAL SHALL BE APPROVED BY THE OWNER PRIOR TO COMMENCEMENT OF WORK. TESTS OF FILL MATERIAL WILL BE DONE AT THE OWNER'S EXPENSE.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE, MAINTENANCE, REPAIR OR REPLACEMENT OF EXISTING IMPROVEMENTS IN THE WORK AREA WHICH HAVE BEEN REMOVED OR DAMAGED DURING THE COURSE OF CONSTRUCTION. ALL REPAIR, REPLACEMENT, OR CLEANUP SHALL BE DONE TO THE SATISFACTION OF THE OWNER.
19. ASPHALTIC CONCRETE SHALL CONFORM TO PAG SECTION 406, MIX #2 SPECIFICATIONS.
20. ALL CONCRETE SHALL BE PER PAG SECTION 1006, CLASS S, 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
21. THE GOVERNING ACCESSIBILITY CODE IS 2008 IBC CHAPTER 11 AND ICC 117.1 FOR PRIVATE PROPERTY.
22. SIDEWALK SCUPPERS FOR ROOF DRAINAGE ARE REQUIRED FOR THIS PROJECT AS SHOWN ON THE PLAN.
23. THE APPROVED DEVELOPMENT PACKAGE IS THE ONLY ACCEPTABLE CONSTRUCTION PLAN ONSITE. THE CONTRACTOR MAY NOT USE ANY OTHER PLANS, SUCH AS THE APPROVED TENTATIVE PLAT AND/OR DEVELOPMENT PLAN, FOR CONSTRUCTION PURPOSES. THE CONTRACTOR MAY ASK THE PLANNING AND DEVELOPMENT SERVICES INSPECTOR TO CONSULT WITH THE OTHER APPROVED PLANS FOR ADDITIONAL INFORMATION OR DETAILS THAT MIGHT NOT BE INCLUDED ON THE APPROVED GRADING PLAN BUT NEEDED FOR COMPLETION OF WORK.
24. ENGINEERING WORK TO BE DONE BELOW GRADE (I.E. TOE-DOWNS, CUTOFF WALLS, DRAINAGE PIPES/STRUCTURES, ETC.) SHALL NOT BE BACKFILLED UNTIL A DEVELOPMENT SERVICES INSPECTOR INSPECTS THE WORK AND APPROVES IT.
25. ALL LIMITS OF GRADING, FILL, SLOPES, BLOCK WALLS AND EROSION PROTECTION SHALL BE SETBACK A MINIMUM OF 2' FROM THE PROPERTY BOUNDARY.
26. DEPRESS ALL LANDSCAPE AREAS 6" MINIMUM FOR WATER HARVESTING.
27. THE CONTRACTOR IS NOT PERMITTED TO MAKE AN AUTONOMOUS DECISION TO CARRY OUT CONSTRUCTION FIELD CHANGES WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND CITY OF TUCSON DEVELOPMENT SERVICES DEPARTMENT.
28. A COPY OF THE APPROVED GRADING PLAN, GRADING PERMIT, AND ANY GEOTECHNICAL REPORTS SHALL BE KEPT AT THE SITE AT ALL TIMES, UNTIL FINAL GRADING APPROVAL.
29. ANY REVISION TO THE GRADING PLAN MAY REQUIRE A RE-SUBMITTAL OF A REVISED GRADING PLAN FOR REVIEW. CONTACT PSDS ENGINEERING AT 791-5550 TO DISCUSS CHANGES IN GRADING DESIGN.
30. IF GRADING CONSTRUCTION IS EXPECTED TO LAST LONGER THAN THE EXPIRATION DATE OF THE GRADING PERMIT, CONTACT PSDS TO RENEW/EXTEND THE GRADING PERMIT. IF FINAL GRADING INSPECTION HAS NOT BEEN COMPLETED BEFORE THE GRADING PERMIT EXPIRES, AND THE PERMIT HAS NOT BEEN RENEWED, ADDITIONAL FEES AND REVIEWS MAY BE REQUIRED.
31. THE PERMITEE SHALL NOTIFY THE PSDS WHEN THE GRADING OPERATION IS READY FOR FINAL GRADING INSPECTION. FINAL GRADING APPROVAL SHALL NOT BE GIVEN UNTIL ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE FACILITIES AND THEIR PERMANENT PROTECTIVE DEVICES, AND ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED GRAD PLAN AND GRADING PERMIT, AND ANY REQUIRED REPORTS HAVE BEEN SUBMITTED.
32. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT FOR ANY EXPANSION OF THIS PROJECT THE OWNERS SHALL PROVIDE REVISED DEVELOPMENT PLANS FOR REVIEW AND APPROVAL BY CITY OF TUCSON.
33. APPROVAL OF THIS PLAN DOES NOT AFFIRM, CERTIFY, OR APPROVE ANY LAND DIVISION THAT MAY BE CONTRARY TO STATE LAW, NOR DOES IT CERTIFY THE EXISTENCE OR COMPLIANCE WITH ANY PRIVATE DEED RESTRICTIONS.
34. PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF COMPLETION BY THE PLANNING DIVISION, AN ENGINEER MUST CERTIFY AS TO THE COMPLETION AND SUBSTANTIAL CONFORMANCE TO APPROVAL OF ALL PUBLIC AND PRIVATE ROADWAYS, DRAINAGE STRUCTURES, AND APPURTENANCES AS SHOWN ON THE DEVELOPMENT PLAN.
35. MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES SHALL BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED 30 INCHES AND 72 INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.

BUILDING PLAN NOTES:

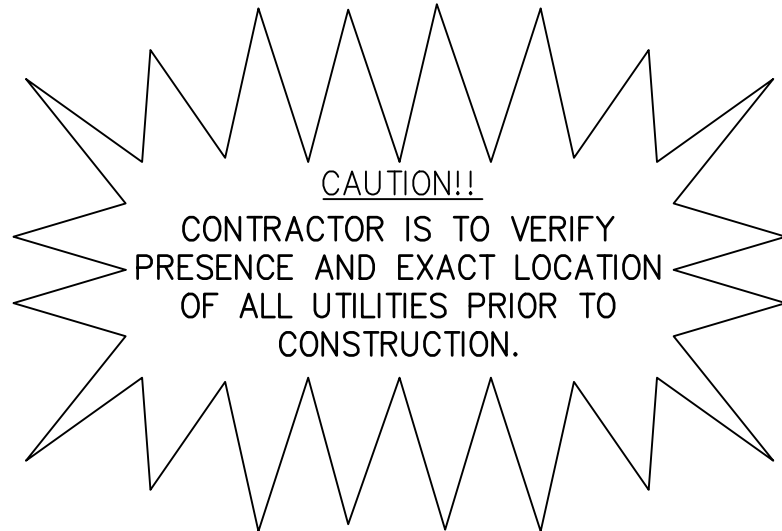
1. THE NEAREST FIRE HYDRANT IS LOCATED AT THE EASTERN SIDE OF PROPOSED DEVELOPMENT.
2. MAIL IS TO BE DELIVERED TO THE BUILDING.
3. AUTOMATIC FIRE SPRINKLERS ARE NOT REQUIRED FOR THIS PROJECT.

TUCSON AIRPORT AUTHORITY

1. THIS PROJECT IS LOCATED APPROXIMATELY 5 ½ MILES NORTH OF TUCSON INTERNATIONAL AIRPORT AND IS WITHIN FAA TRAFFIC PATTERN AIRSPACE, AN AREA WHICH WOULD BE SUBJECT TO AIRCRAFT OVERFLIGHT AND NOISE DUE TO BEING IN CLOSE PROXIMITY TO TUCSON INTERNATIONAL AIRPORT.
2. PRIOR TO THE CITY'S APPROVAL OF THE PROPOSED DEVELOPMENT, THE PROPERTY OWNER MUST RECORD THE AVIGATION EASEMENT THAT DISCLOSES THE EXISTENCE AND OPERATIONAL CHARACTERISTICS OF THE TUCSON INTERNATIONAL AIRPORT TO FUTURE OWNERS OR TENANTS OF THE PROPERTY AND FURTHER CONVEYS THE RIGHT TO THE PUBLIC TO LAWFULLY USE THE AIRSPACE ABOVE THE PROPERTY. THE AVIGATION EASEMENT SHALL BE RECORDED IN A MANNER WITH THE PIMA COUNTY RECORDER WHICH SHALL DOCUMENT IT AS HAVING TITLE LIABILITY. THE CONTENT OF SUCH DOCUMENTS SHALL BE ACCORDING TO THE FORM AND INSTRUCTIONS PROVIDED. THE CURRENT PROPERTY OWNER OR PERSON AUTHORIZED TO SIGN ON BEHALF OF THE CURRENT PROPERTY OWNER MUST COMPLETE, SIGN, AND RECORD THE AVIGATION EASEMENT. PLEASE RECORD THE AVIGATION EASEMENT WITH THE PIMA COUNTY RECORDER'S OFFICE. THEN SEND A COMPLETE COPY OF THE RECORDED EASEMENT DOCUMENT TO TUCSON AIRPORT AUTHORITY BY EITHER EMAIL (SEND TO SROBIDOUX@FLYTUCSON.COM) OR TO THE MAILING ADDRESS PROVIDED BELOW.

SCOTT ROBIDOUX
MANAGER OF PLANNING TUCSON AIRPORT AUTHORITY
7250 SOUTH TUCSON BLVD, SUITE 300
TUCSON, AZ 85756

3. THE PROPERTY OWNER/DEVELOPER/APPLICANT MUST PROVIDE THE AIRPORT DISCLOSURE STATEMENT FORM, AT TIME OF SALE. TO THE NEW PROPERTY OWNERS WITH ALL NEW UNIT PURCHASES. IN THE EVENT THE DEVELOPMENT OF ANY RESIDENTIAL USES DOES NOT INVOLVE THE SALE OF NEW UNITS BUT IS INSTEAD OFFERING RENTAL RESIDENTIAL UNITS TO THE PUBLIC, THE NEW TENANT OF THE RENTAL UNIT MUST BE PROVIDED A COPY OF THE AIRPORT DISCLOSURE STATEMENT FORM. THE INTENT OF THE AIRPORT DISCLOSURE STATEMENT FORM IS TO EDUCATE AND NOTIFY THE NEW RESIDENTS THAT THEY ARE LIVING NEAR AN AIRPORT. THE CONTENT OF SUCH DOCUMENTS SHALL BE ACCORDING TO THE FORM AND INSTRUCTIONS PROVIDED. THE PROPERTY OWNER (FOR ITSELF OR ITS TENANTS) SHALL FORWARD A SIGNED COPY OF THE AIRPORT DISCLOSURE STATEMENT FORM TO THE TUCSON AIRPORT AUTHORITY WITHIN TEN (10) DAYS OF SIGNATURE, USING THE SCOTT ROBIDOUX MAILING ADDRESS PROVIDED ABOVE.



Contact Arizona 811 at least two full working days before you begin excavation



Call 811 or click Arizona811.com

1		
NO.	DATE	REVISION

NOTES SHEET

SCALE: N/A

Kimley»Horn

C 2024 KIMLEY-HORN AND ASSOCIATES, INC.
3300 East Sunrise Drive, Suite 130
Tucson, Arizona 85718 (520) 615-9191



SITE CONSTRUCTION PERMIT FOR
CIRCLE K – CONTINENTAL & I19

A PORTION OF THE SAN IGNACIO DE LA CANOA PRIVATE LAND GRANT, ACCORDING TO THE SURVEY OF SAID LAND GRANT MADE BY THE US SUEYOR GENERAL, ON MARCH 10, 1901 T18S, R13E OF THE GSRBM, PIMA COUNTY, AZ

ADMINISTRATIVE ADDRESS:

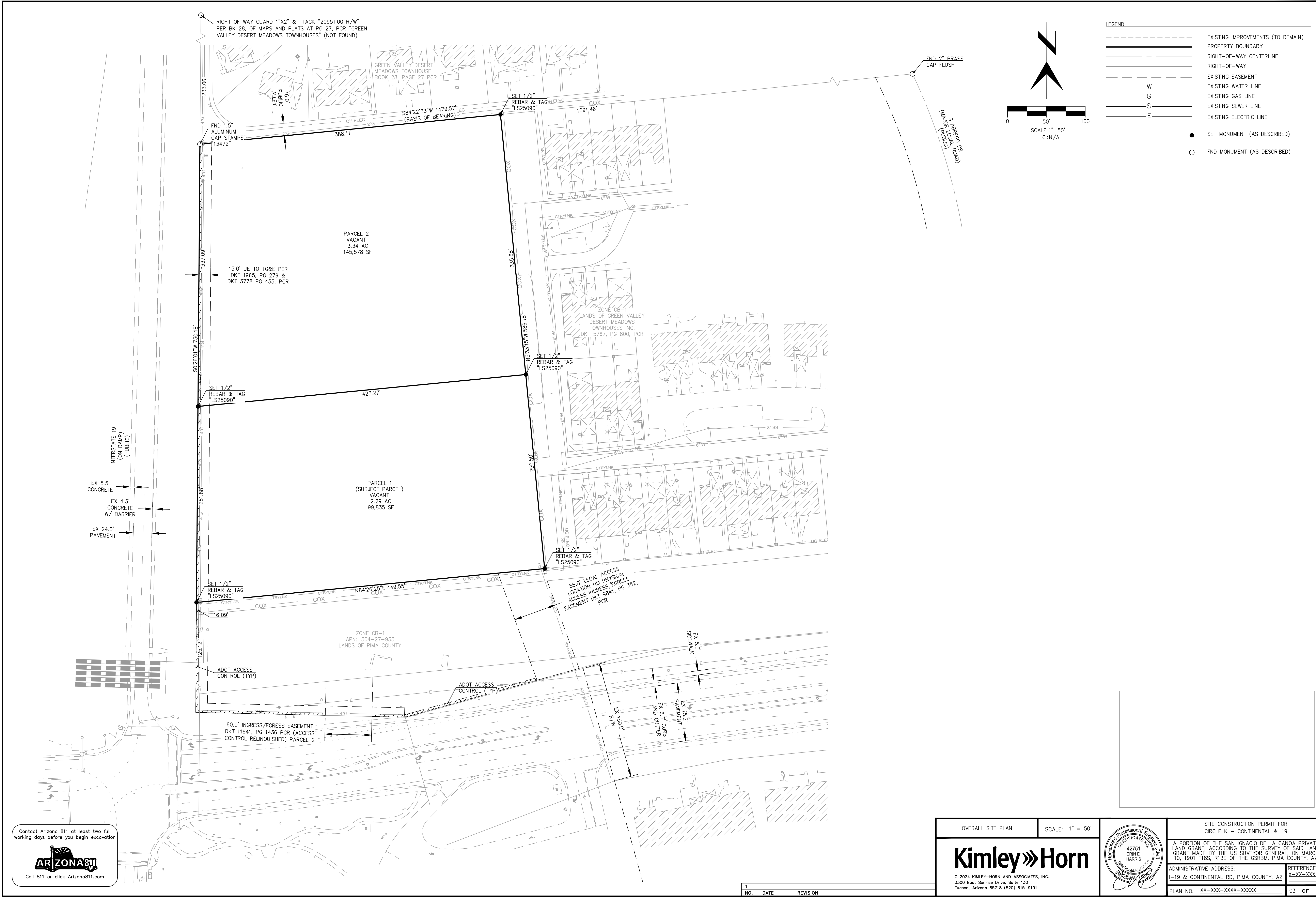
I-19 & CONTINENTAL RD, PIMA COUNTY, AZ

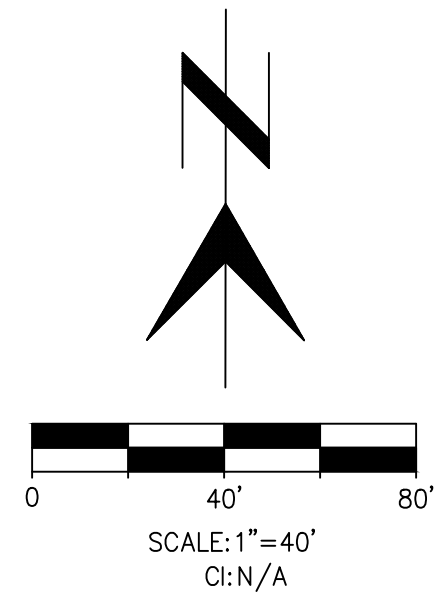
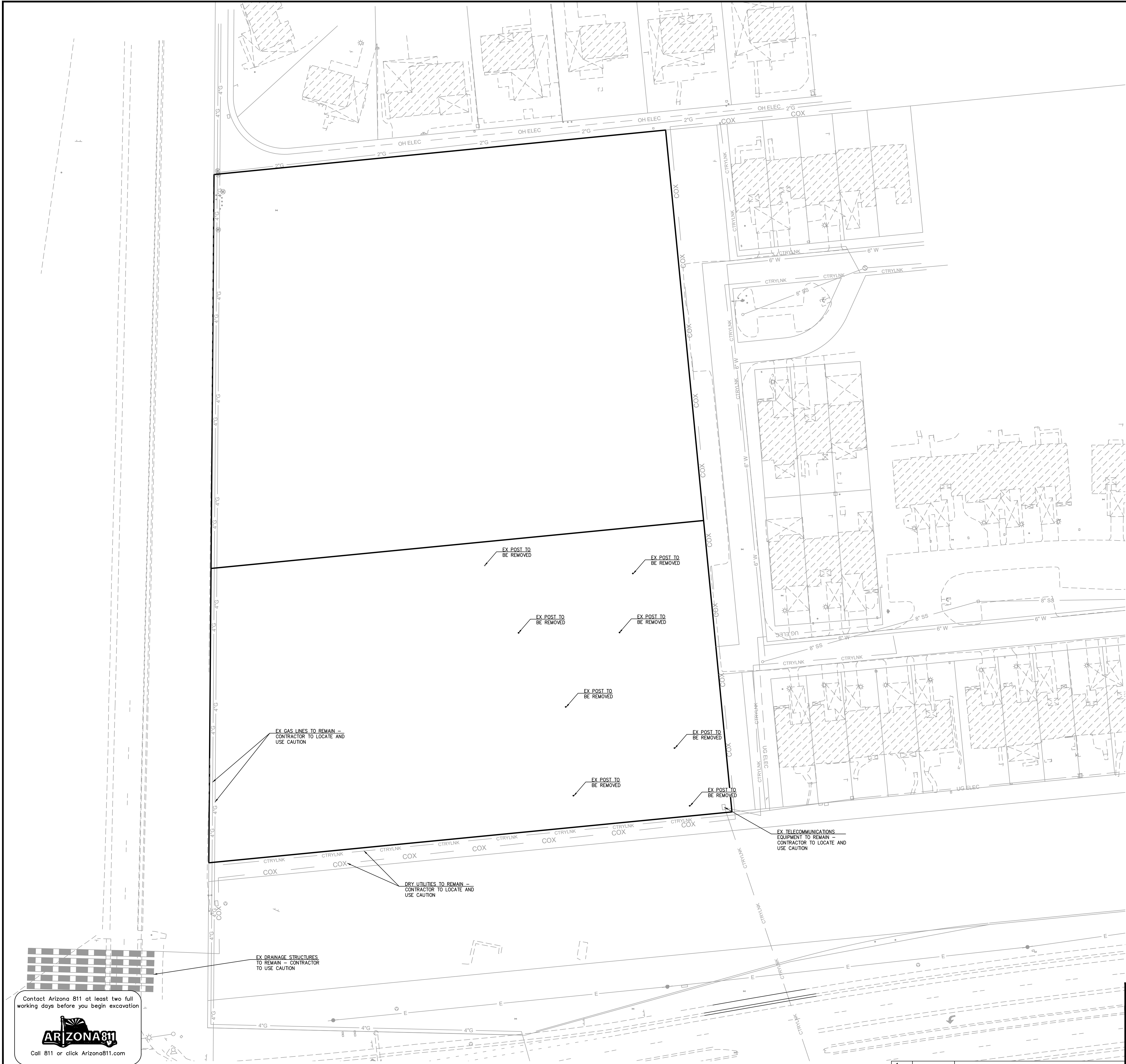
PLAN NO. XX-XXX-XXXX-XXXXX

REFERENCE:

X-XX-XXX

02 OF 15





- LEGEND
- EXISTING SITE (TO REMAIN)
 - PROPERTY BOUNDARY
 - E --- EXISTING ELECTRICAL LINE
 - RIGHT-OF-WAY
 - EXISTING SITE (TO BE REMOVED)
 - W --- EXISTING WATER LINE
 - G --- EXISTING GAS LINE
 - S --- EXISTING SEWER LINE

CAUTION!!
CONTRACTOR IS TO VERIFY
PRESENCE AND EXACT LOCATION
OF ALL UTILITIES PRIOR TO
CONSTRUCTION.



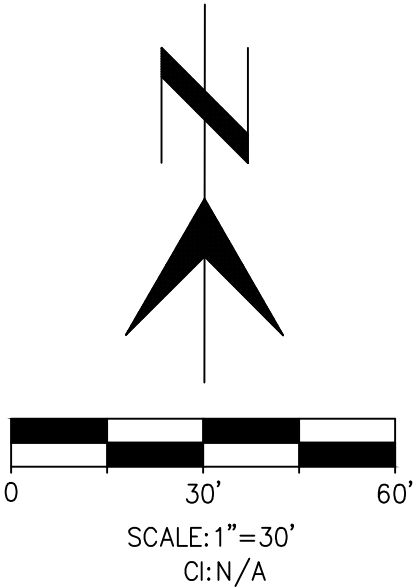
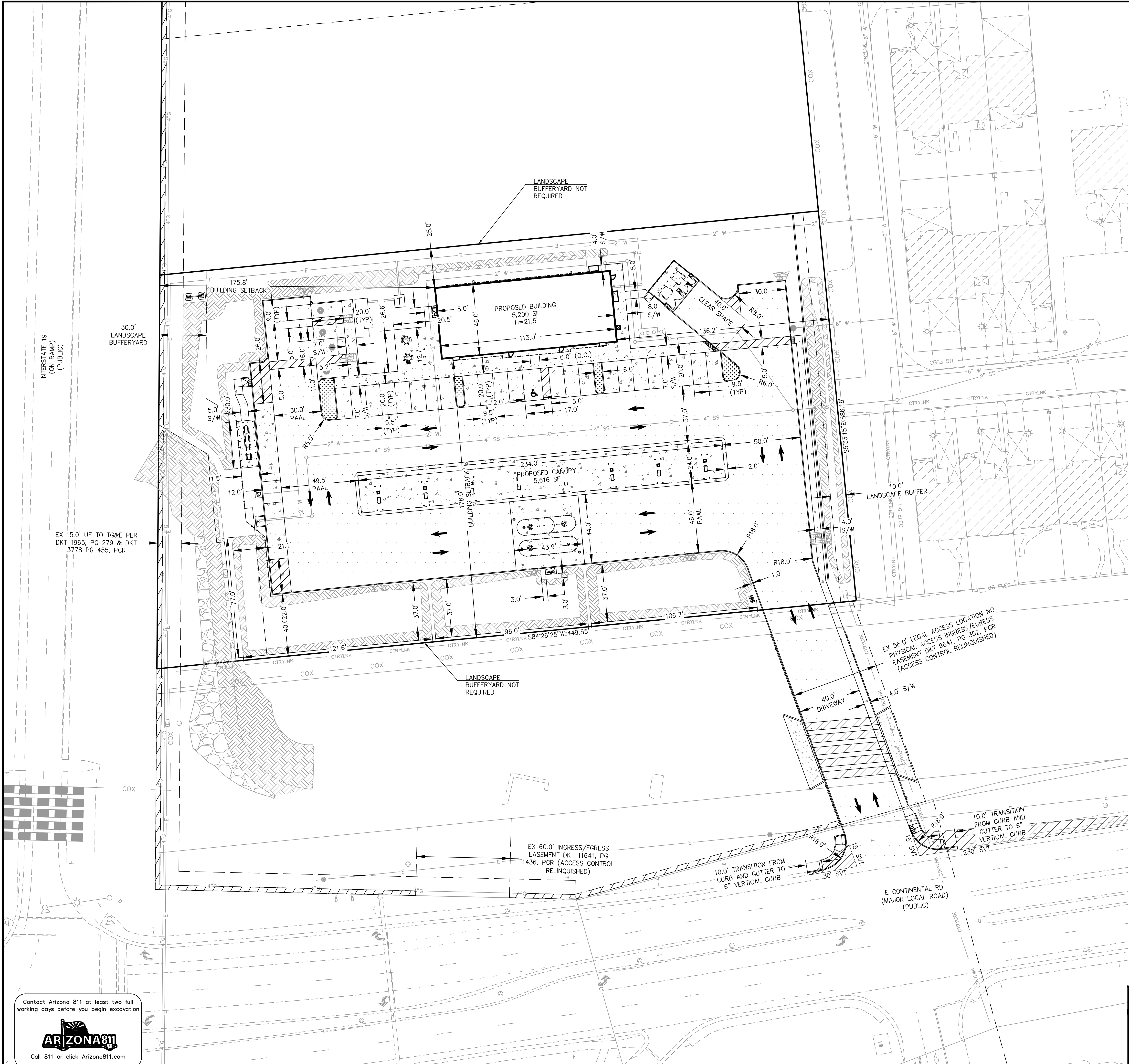
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1	NO.	DATE	REVISION

DEMOLITION PLAN	SCALE: 1" = 40'
Kimley»Horn	
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SITE CONSTRUCTION PERMIT FOR CIRCLE K - CONTINENTAL & I19	
A PORTION OF THE SAN IGNACIO DE LA CANOA PRIVATE LAND GRANT, ACCORDING TO THE SURVEY OF SAID LAND GRANT MADE BY THE US SUEYOR GENERAL, ON MARCH 10, 1901 T18S, R18E OF THE GSRBM, PIMA COUNTY, AZ	
ADMINISTRATIVE ADDRESS: I-19 & CONTINENTAL RD, PIMA COUNTY, AZ	REFERENCE: X-XX-XXX
PLAN NO. XX-XXX-XXXX-XXXX	04 OF 15



LEGEND	
	EXISTING IMPROVEMENTS (TO REMAIN)
	PROPERTY BOUNDARY
	RIGHT-OF-WAY
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING SEWER LINE
	PROPOSED STRIPING
	PROPOSED CONCRETE SIDEWALK
	PROPOSED FENCE
	PROPOSED WALL

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DIMENSIONAL SITE PLAN

SCALE: 1" = 30'

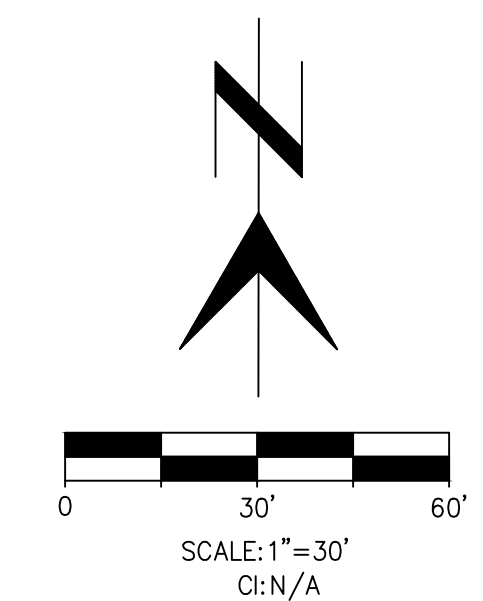
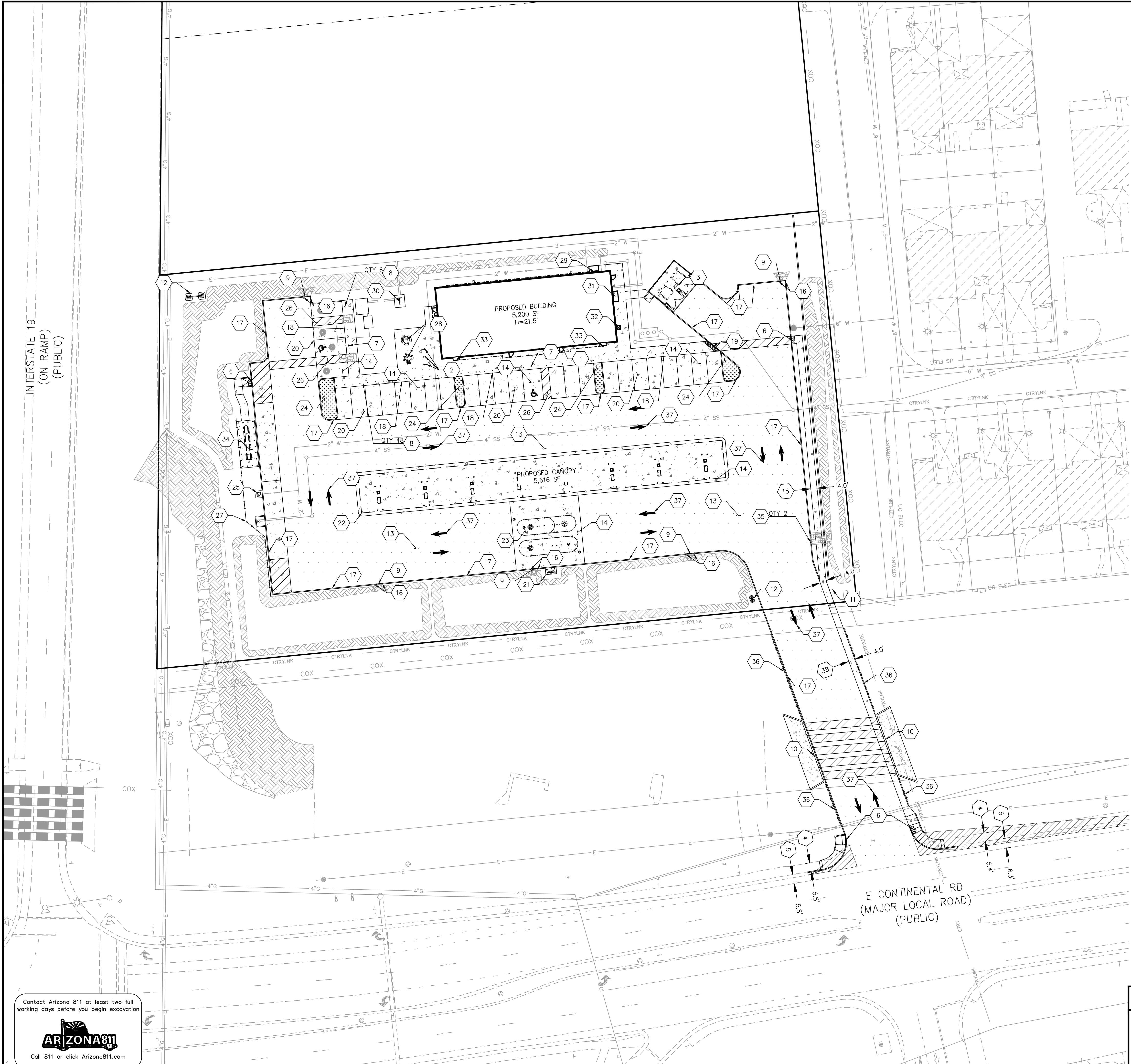
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ADMINISTRATIVE ADDRESS: I-19 & CONTINENTAL RD, PIMA COUNTY, AZ	REFERENCE: X-XX-XXX
PLAN NO. XX-XXX-XXXX-XXXX	05 OF 15

NO.	DATE	REVISION
1		



LEGEND	
	EXISTING IMPROVEMENTS (TO REMAIN)
	PROPERTY BOUNDARY
	RIGHT-OF-WAY
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING SEWER LINE
	PROPOSED STRIPING
	PROPOSED CONCRETE SIDEWALK
	PROPOSED FENCE
	PROPOSED WALL

SITE KEYNOTES

- 1 PRIMARY BUILDING ENTRANCE
- 2 SHORT TERM BICYCLE PARKING – DETAIL B ON SHEET 09
- 3 DUMPSTER ENCLOSURE – PER TSM 8–01.9.0–FIGURE 3B AND DETAIL R ON SHEET 10
- 4 EXISTING SIDEWALK TO REMAIN
- 5 EXSTING CURB AND GUTTER TO REMAIN
- 6 PROPOSED CURB ACCESS RAMP
- 7 ACCESSIBLE PARKING SIGN PER DETAIL F ON SHEET 09 MOUNTED IN TYPE B POST BARRICADE PER PAG SD 106
- 8 PROPOSED TYPE A POST BARRICADE (5' O.C.) PER PAG SD 106
- 9 CONCRETE CURB OPENING WITH TRANSITIONS
- 10 COMBINATION PEDESTRIAN–TRAFFIC BRIDGE RAILING PER ADOT SD 1.12
- 11 PROPOSED SCREEN WALL (HEIGHT = 6') – SEE LANDSCAPE ARCHITECTURE PLANS
- 12 PROPOSED SIGN PER SIGNAGE PLAN BY SEPARATE PERMIT
- 13 INSTALL HEAVY DUTY ASPHALT PAVEMENT SECTION
- 14 INSTALL HEAVY DUTY CONCRETE PAVEMENT SECTION
- 15 INSTALL CONCRETE SIDEWALK
- 16 CONSTRUCT 1' CONCRETE CURB TERMINAL SECTION PER PAG SD 212
- 17 CONSTRUCT CONCRETE VERTICAL CURB
- 18 CONSTRUCT REVEAL 0" CONCRETE CURB PER DETAIL C ON SHEET 9
- 19 INSTALL CAST-IN-PLACE DETECTABLE WARNING SYSTEM (TRUNCATED DOMES) PER ARMOR TILE – 36" X 48" PANEL. PRODUCT NO. ADA–C–3648W PER DETAIL N ON SHEET 10 (OR APPROVED EQUAL)
- 20 INSTALL STANDARD 90 DEGREE PARKING SPACE STRIPING PER DETAIL P ON SHEET 10
- 21 INSTALL FUEL GAS VENT PIPES PER ARCHITECTURAL PLANS
- 22 CONSTRUCT FUEL CANOPY PER ARCHITECTURAL PLANS
- 23 INSTALL TWO 20,000 GALLON UNDERGROUND FUEL STORAGE TANKS PER FUEL PUMP DESIGNER PLANS
- 24 LANDSCAPE/PLANTER WATER HARVESTING AREA. REFER TO LANDSCAPE, WATER HARVESTING AND GRADING PLANS FOR MORE INFORMATION
- 25 AIR & WATER CONCRETE PAD AT BACK OF CURB. REFER TO ARCHITECTURAL PLANS FOR MORE DETAILS.
- 26 INSTALL ACCESSIBLE PARKING STRIPING AND INTERNATIONAL SYMBOL OF ACCESSIBILITY
- 27 PROPOSED FENCE
- 28 PROPOSED PATIO TABLE (OR APPROVED EQUAL)
- 29 EXTERIOR ROOF ACCESS LADDER
- 30 8'X6.5' ELECTRICAL TRANSFORMER PAD
- 31 SES CABINET
- 32 CO2 W/ STORAGE CABINET
- 33 EMERGENCY FUEL SHUT OFF LOCATION
- 34 BULK PROPANE LOCATION
- 35 SIDEWALK SCUPPER
- 36 HANDRAIL PER PAG SD 105
- 37 PAINTED TWO-WAY DIRECTIONAL ARROWS
- 38 MONOLITHIC VERTICAL CURB

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SITE PLAN

SCALE: 1" = 30'

C 2024 KIMLEY-HORN AND ASSOCIATES, INC.
3300 East Sunrise Drive, Suite 130
Tucson, Arizona 85718 (520) 615–9191

REGISTERED PROFESSIONAL ENGINEER
ERIN E. HARRIS
NO. 42751
STATE OF ARIZONA

SITE CONSTRUCTION PERMIT FOR
CIRCLE K – CONTINENTAL & I19

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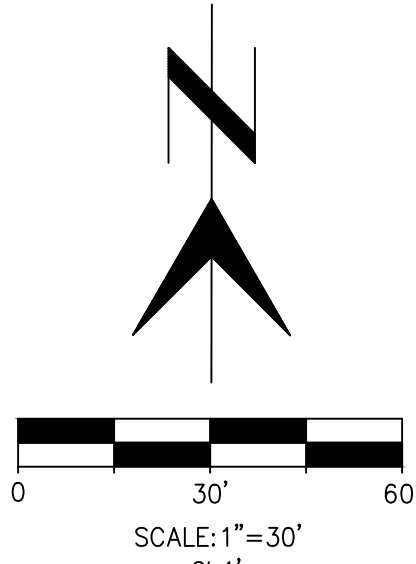
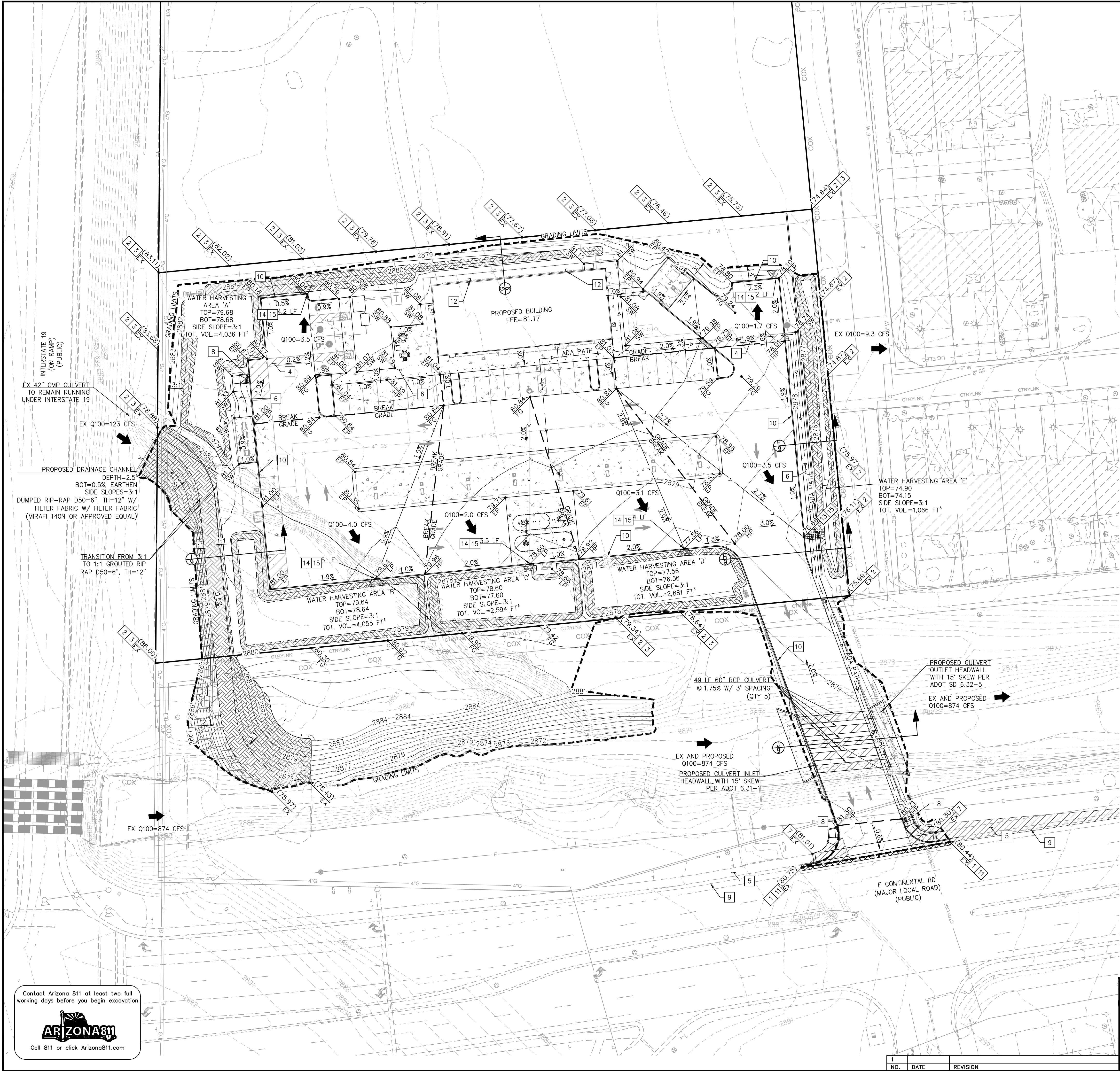
ADMINISTRATIVE ADDRESS:
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REFERENCE:
X–XX–XXX

PLAN NO. XX–XXX–XXXX–XXXX

06 OF 15

1	NO.	DATE	REVISION



LEGEND

----- EXISTING IMPROVEMENTS (TO REMAIN)

----- PROPERTY BOUNDARY

GRADING KEYNOTES

- 2' TRIM, TACK AND JOIN NEW TO EXISTING PAVEMENT AT EXISTING GRADE (VERIFY EXISTING ELEVATION PRIOR TO START OF CONSTRUCTION)
- MATCH EXISTING GRADE 1' INSIDE OF PROPERTY LINE
- AREA GRADED 3% MINIMUM TO TOP OF CURB, AWAY FROM STRUCTURES, EQUIPMENT AND SIDEWALK
- IN PEDESTRIAN PATH/CROSS-WALK MAXIMUM CROSS-SLOPE IS 2.0% AND MAXIMUM LONGITUDINAL SLOPE IS 5.0%
- EXISTING CONCRETE SIDEWALK TO REMAIN - REPAIR/REPLACE SECTIONS OF CRACKED OR DAMAGED SIDEWALK TO MEET CURRENT STANDARDS
- CONCRETE SIDEWALK PER PAG SD 200 - ALL PRIVATE PROPERTY SIDEWALK (INCLUDING DRIVEWAYS) TO MEET SLOPE REQUIREMENTS PER 2012 IBC SECTION 1104 AND 2009 ICC A117.1 SECTION 403 (TYPICAL ALL)
- CONCRETE SIDEWALK NEW TO EXISTING CONNECTION PER PAG SD 203 - MATCH EXISTING SIDEWALK GRADE
- PROPOSED CURB ACCESS RAMP PER PAG SD 207 (TYPE OR AS SHOWN) WITH TRUNCATED DOMES (TYP)
- EXISTING CURB TO REMAIN - VERIFY GRADE PRIOR TO START OF CONSTRUCTION
- INSTALL NEW CONCRETE VERTICAL CURB, TYPE 2, H=6" PER PAG SD 209
- CONCRETE CURB NEW TO EXISTING CONNECTION PER PAG SD 211 - MATCH EXISTING PAVEMENT GRADE
- ROOF DRAIN DOWNSPOUT PER ARCHITECTURAL DRAWINGS - INSTALL SPLASH BLOCK OR 3' ROCK RIP-RAP SPLASH PAD AT OUTLET OF ROOF DRAIN - GRADE AWAY FROM BUILDING FOR A MINIMUM OF 10' TO WATER HARVESTING DEPRESSION, SIDEWALK SCUPPER OR PAVEMENT
- SIDEWALK SCUPPER (TYPE 2) PER PAG SD 204
- CONCRETE HEADER CURB (WIDTH PER PLAN) PER PAG SD 213 WITH 1' TERMINAL SECTIONS - BOTH SIDES - PER PAG SD 212
- DUMPED RIP-RAP SPLASH PAD (LENGTH PER PLANS) D50=6", Th=12" W/ FILTER FABRIC (MIRAFI 140N OR APPROVED EQUAL)

GRADING NOTES

- ALL GRADES ARE PAVEMENT GRADES UNLESS OTHERWISE NOTED ON PLANS, ALL GRADES ARE PLUS 2800
- THE WATER HARVESTING AREA SHALL BE DEPRESSIONED SIX INCHES BELOW THE LOWEST SURROUNDING GRADE, WITH RUNOFF FROM THE IMPERVIOUS AREA(S) DIRECTED TO THE DEPRESSION. THE DEPRESSIONS SHALL HAVE A MINIMUM OF THREE INCHES OF COMPOST OR COMPARABLE ORGANIC MATERIAL ADDED TO THE SOIL AND FILLED TO A DEPTH OF 12 INCHES BELOW THE BOTTOM OF THE DEPRESSION. AFTER THIS ADDITION, THE BOTTOM OF THE DEPRESSION SHOULD MEET THE AFOREMENTIONED DEPTH REQUIREMENT. THE DEPRESSION SHALL THEN BE PLANTED WITH A VARIETY OF NATIVE PLANTS, INCLUDING TREES, SHRUBS, FORBS, GRASSES, OR WITH OTHER LOW WATER USE PLANTS. THE AREAS ARE TO ENHANCE AND/OR MIMIC THE NATURAL HYDROLOGIC CYCLE PROCESSES OF INFILTRATION, EVAPOTRANSPIRATION, AND USE. ALL LANDSCAPE AREAS NOT SPECIFICALLY CALLED OUT AS WATER HARVESTING BASINS ARE ALSO TO BE DEPRESSIONED BY 6" WHERE POSSIBLE. THESE ADDITIONAL AREAS ARE NOT INCLUDED IN THE ATTENUATION MODEL FOR RETENTION.
- ALL IMPROVEMENTS SHALL BE COMPLETED IN COMPLIANCE WITH AND ACCORDING TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ALL ADDENDUMS: PER SPEEDIE AND ASSOCIATES GEOTECHNICAL REPORT, JOB NO. 2023495T, THE FOLLOWING PAVEMENT SECTIONS ARE RECOMMENDED FOR THIS PROJECT:

Area of Placement	Flexible (AC Pavement)			Rigid (PCC Pavement)	
	Thickness AC (0.39)	ABC (0.12)	Daily 18-kip ESALs	Thickness PCCP	Daily 18-kip ESALs
Auto Parking	2.0"	4.0"	6	5.0"	9
	3.0"	4.0"	25	6.0"	23
Truck Parking, Main Drives, & Fire Lanes	3.0"	6.0"	57	7.0"	51
	4.0"	6.0"	258	8.0"	108
	5.0"	4.0"	414	9.0"	220

- ROOF DRAIN DOWNSPOUT PER ARCHITECTURAL DRAWINGS - INSTALL SPLASH BLOCK OR 3' ROCK RIP-RAP SPLASH PAD AT OUTLET OF ROOF DRAIN - GRADE AWAY FROM BUILDING FOR A MINIMUM OF 10' TO WATER HARVESTING AREA OR SIDEWALK SCUPPER.
- MATCH EXISTING GRADE 1' INSIDE OF PROPERTY OR EASEMENT LINE.
- AREA GRADED 3% MIN. TO TOP OF CURB, AWAY FROM STRUCTURES, EQUIPMENT OR SIDEWALK.
- MAX CROSS-SLOPE IN PATH/CROSS WALK IS 2.0% MAX LONGITUDINAL-SLOPE IN PEDESTRIAN PATH/CROSS WALK IS 5.0%.
- CONTRACTOR TO VERIFY EXISTING GRADE, INVERT & LOCATION PRIOR TO START OF CONSTRUCTION.
- WATER HARVESTING BASIN FREEBOARD PROVIDED BY 6" CURB BEYOND THE OPENING. TOP OF BASIN INDICATES TOP OF PONDED WATER AND BOTTOM OF BASIN INDICATES TOP OF GROUND TREATMENT INCLUDING LANDSCAPE MATERIALS.

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GRADING PLAN

SCALE: 1" = 30'

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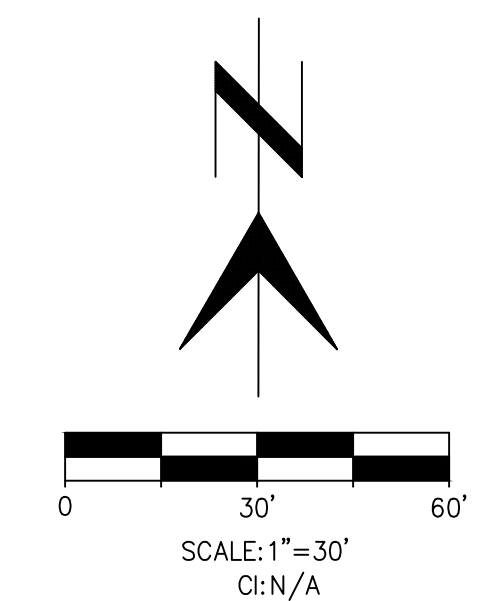
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I-19 & CONTINENTAL RD, PIMA COUNTY, AZ

REFERENCE:
X-XX-XXX

PLAN NO. XX-XXX-XXXX-XXXXX

07 OF 15

NO.	DATE	REVISION
1		



LEGEND	
	EXISTING IMPROVEMENTS (TO REMAIN)
	PROPERTY BOUNDARY
	RIGHT-OF-WAY
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING SEWER LINE
	PROPOSED WATER LINE
	PROPOSED SEWER LINE
	PROPOSED WATER METER
	PROPOSED IRRIGATION METER
	PROPOSED ELETRICAL CONDUIT

- UTILITY KEYNOTES
- 1 CONTRACTOR TO VERIFY GRADE, INVERT AND LOCATION PRIOR TO START OF CONSTRUCTION
 - 2 TWO-WAY CLEANOUT @ BUILDING (CONNECT TO BUILDING PER PLUMBING PLANS, MIN 4' COVER)
 - 3 POT HOLE REQUIRED TO VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES, RELOCATE UTILITIES AS NEEDED

- UNDERGROUND NOTES
1. INSTALLATION PER N.F.P.A. - 24, 2016 EDITION
 2. MINIMUM BURY FROM TOP OF PIPE IS 36"
 3. ALL MECHANICAL JOINT FITTINGS TO BE SECURED WITH "MEG-A-LUG" JOINT RESTRAINTS
 4. UNDERGROUND FIRE SERVICE PIPING WITHIN 5'-0" OF THE BUILDING SHALL BE 6" STAINLESS STEEL PIPE. REMAINING UNDERGROUND FIRE SERVICE PIPING SHALL BE 6" C-900 PVC.
 5. UNDERGROUND PIPING TO BE HYDROSTATICALLY TESTED AT 200 PSI FOR A TWO HOUR PERIOD.
 6. UNDERGROUND PIPE TO BE FLUSHED BEFORE CONNECTING TO FIRE RISER OR OVERHEAD PIPING.
 7. FIRE LINE INSTALLATION TO BEGIN AT EXISTING FIRE LINE STUB ON PROPERTY.

SEWER AND WATER CONNECTIONS AT BUILDING PER PLUMBING PLAN

BUILDING UTILITY CONNECTIONS PER PLUMBING PLANS

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UTILITY PLAN	SCALE: 1" = 30'
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SITE CONSTRUCTION PERMIT FOR CIRCLE K - CONTINENTAL & I19	
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ADMINISTRATIVE ADDRESS: I-19 & CONTINENTAL RD, PIMA COUNTY, AZ	REFERENCE: X-XX-XXX
PLAN NO. XX-XXX-XXXX-XXXX	08 OF 15

NO.	DATE	REVISION

A CURB ACCESS RAMP DETAIL SCALE: 1"=5'

B ACCESSIBLE PARKING SPACE
 SCALE: 1"=5'

C ACCESSIBLE PARKING SIGN N.T.S.

D SHORT-TERM BICYCLE PARKING

 TYPICAL PARKING SPACE
 SCALE: NTS

(F) CROSS-SECTION DETAIL

SCALE: H: 1"=5' V: 1"=10'

CROSS-SECTION DETAIL

SCALE: H: 1"=5' V: 1"=10'

The diagram shows a cross-section of a road profile. The vertical axis represents elevation in feet, with labels at 2874, 2876, 2880, and 2884. The horizontal axis represents the road layout. Key features include:

- Existing Grade:** Indicated by a dashed line on the left.
- Grades:** 3.1% (downward), 3.2% (downward), and 1.0% (downward).
- Vertical Curbs:** Two vertical curbs are shown, each 6 inches high.
- Pavement:** A 42-foot wide pavement section is indicated between the two vertical curbs.
- Decorative Masonry Wall:** A 6-foot high decorative masonry wall is shown on the right side of the pavement.
- Elevations and Stationing:**
 - Left side: 2875.56 BOT, 2876.61 TC, 2878.17 CF.
 - Right side: 2877.32 TC, 2877.15 SW, 2877.08 TOP, 2874.40 BOT, 2875.98 TOP, 2876.04 EX.
- Dimensions:** 3.0' SHY SPACE, 4.0' SW, 6' VERTICAL CURB, 42' PAVEMENT.

CROSS-SECTION DETAIL

SCALE: H: 1"=5' V: 1"=10'

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DETAIL SHEET 1

SCALE: N/A

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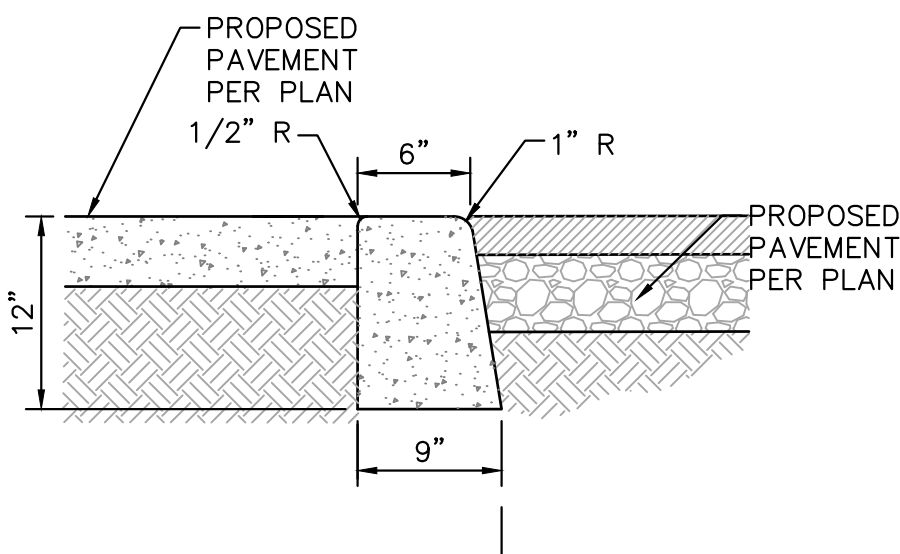
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ADMINISTRATIVE ADDRESS:	REFERENCE:
1-19 & CONTINENTAL RD. PIMA COUNTY AZ	X-XX-XXX

PLAN NO. XX-XXX-XXXX-XXXXX

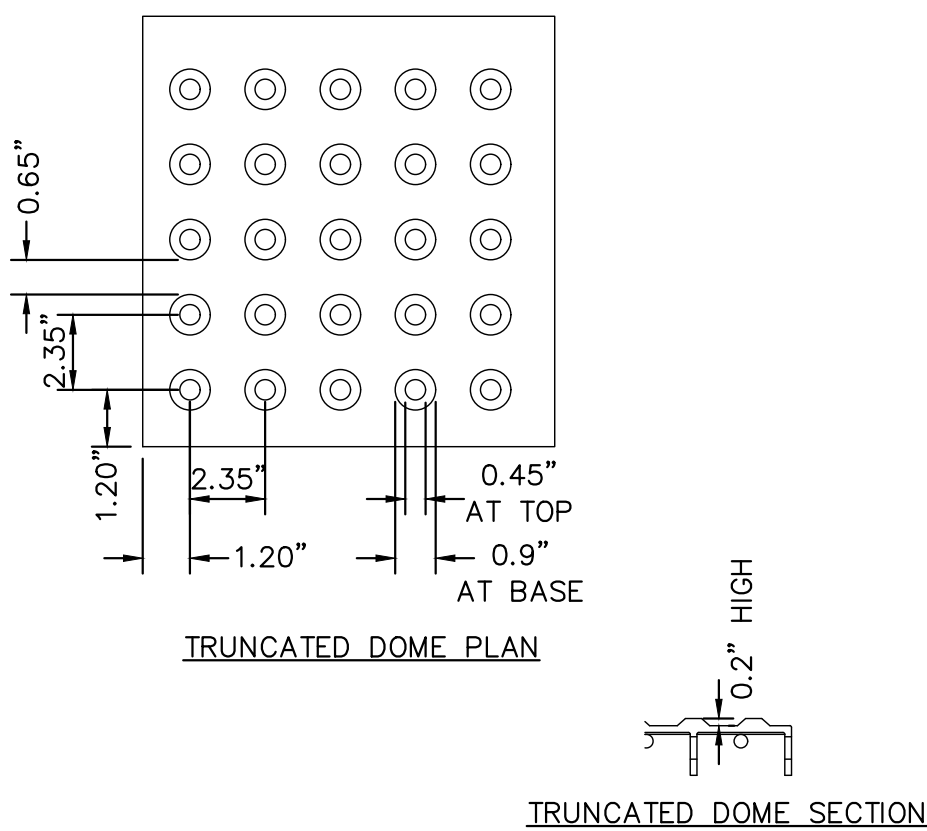
09 OF 15



NOTES:

1. CONCRETE SHALL BE 2,500 PSI.
2. ISOLATION JOINTS SHALL BE PLACED ONLY AS SPECIFIED
3. CONTRACTION JOINTS CONSISTING OF 1" DEEP SCORES SHALL BE PLACED AT 15' INTERVALS O.C.
4. WHERE A WALK IS ADJACENT TO THE CURB THE JOINTS SHALL ALIGN WITH JOINTS IN THE WALK.
5. WHERE CURBS ADJOIN LANDSCAPE AREAS, THE BOTTOM OF THE CURB SHOULD BE DEEPENED AS NECESSARY TO EXTEND TO THE BOTTOM OF THE ADJACENT AGGREGATE BASE SECTION BELOW PAVEMENTS.

K 0" REVEAL CONCRETE CURB N.T.S.

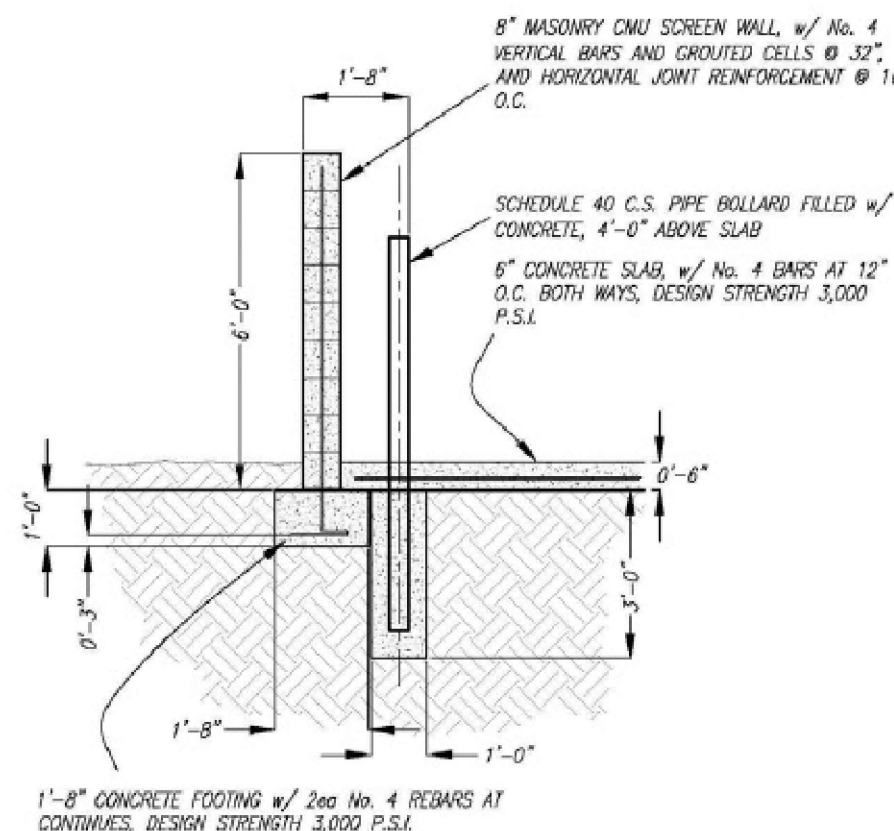


NOTES:

1. CONTRACTOR TO REFERENCE MANUFACTURERS GUIDELINES FOR INSTALLATION OF TRUNCATED DOMES.
2. COLOR TO BE YELLOW UNLESS NOTED OTHERWISE

N TRUNCATED DOMES N.T.S.

STRUCTURAL DESIGN FOR WALL ENCLOSURE (2 to 8 CUBIC YARDS)



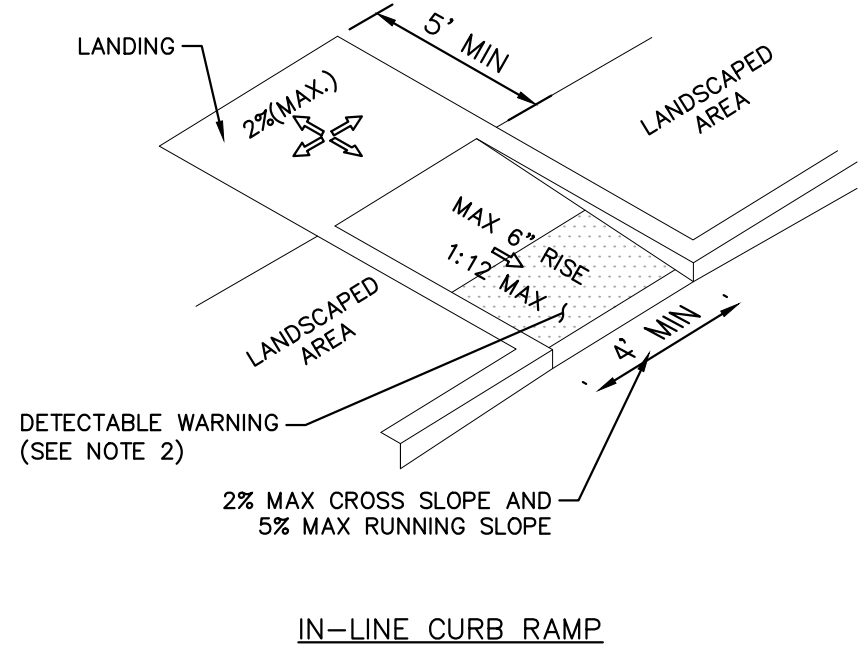
OCTOBER 24, 2011 FIGURE 2 - STRUCTURAL DESIGN FOR ENCLOSURE WALL (2 to 8 CUBIC YARDS)
NOV 10 SCALE

SEE BUILDING PLANS FOR STRUCTURAL DETAILS

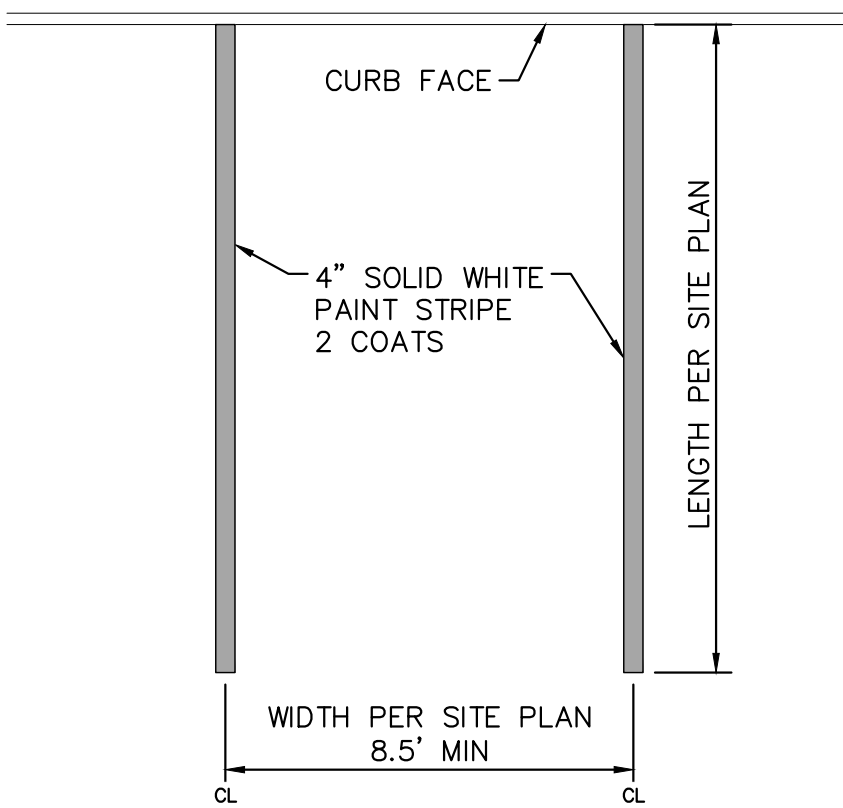
Q TRASH ENCLOSURE STRUCTURAL WALL DETAIL - REF. ONLY N.T.S.

NOTES:

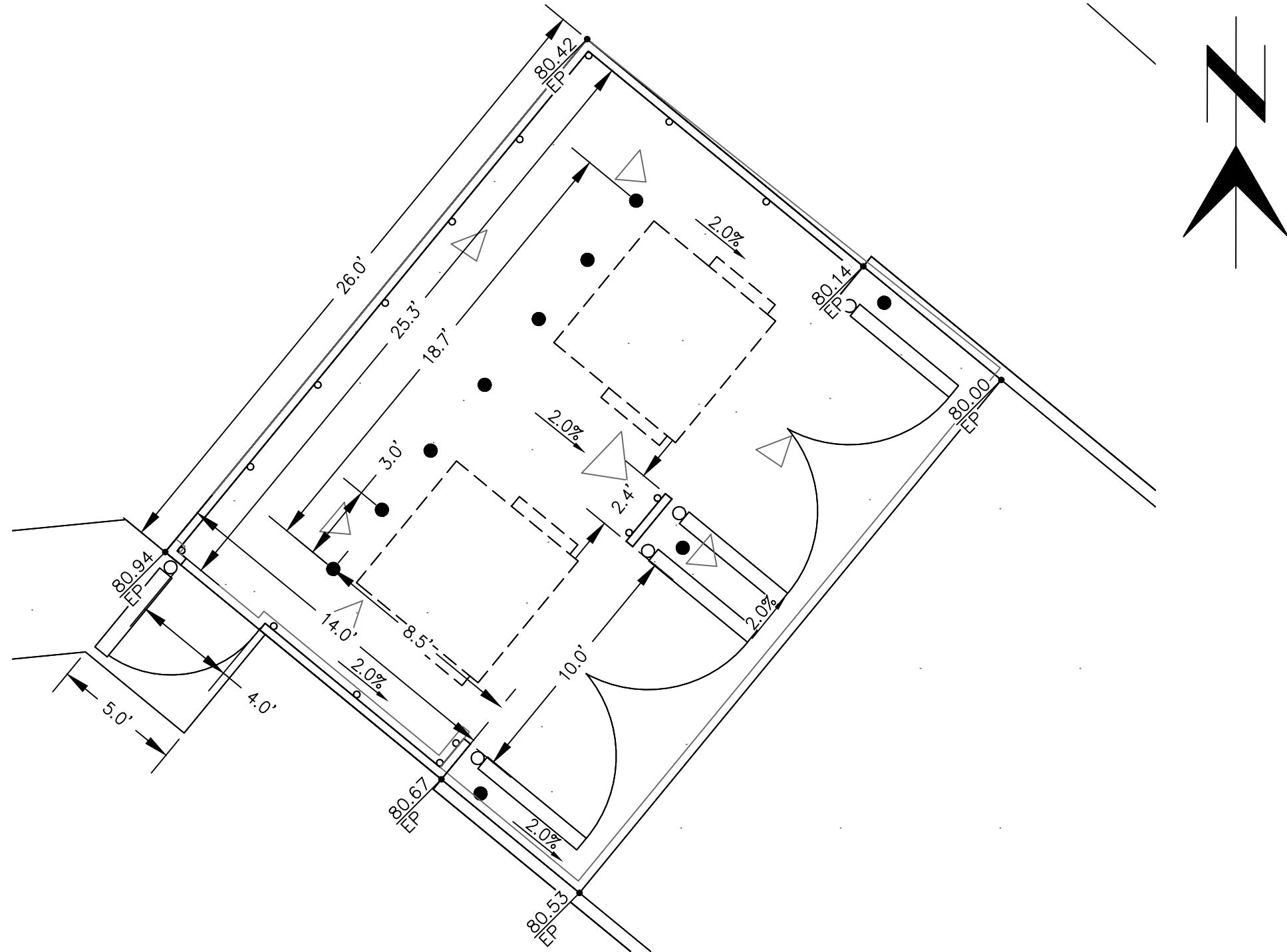
1. ALL ACCESSIBLE COMPONENTS CONSTRUCTED AS PART OF THESE PLANS SHALL COMPLY WITH THE LOCAL, STATE, AND FEDERAL REGULATIONS WHICHEVER ARE MORE STRINGENT.
2. CURB RAMP SHALL HAVE A DETECTABLE WARNING EXTENDING THE FULL WIDTH OF THE CURB RAMP AND 3' DEEP. GROOVED SURFACES ON OUTDOOR CURB RAMP ARE NOT PERMITTED. REFER TO TRUNCATED DOMES DETAIL.
3. CURB RAMP SHALL BE CONCRETE WITH STRENGTH OF 2500 PSI.
4. INSTALL 1/4" EXPANSION JOINT FILLER MATERIAL BETWEEN A NEW CURB RAMP AND THE EXISTING SIDEWALKS.
5. WATER PONDING WITHIN THE CURB RAMP LIMITS IS NOT ALLOWED.
6. NO GRADE BREAK IS ALLOWED ALONG THE RAMP SURFACE.
7. CROSS SLOPE OF THE CURB RAMP SURFACE SHALL BE LESS THAN 2%.



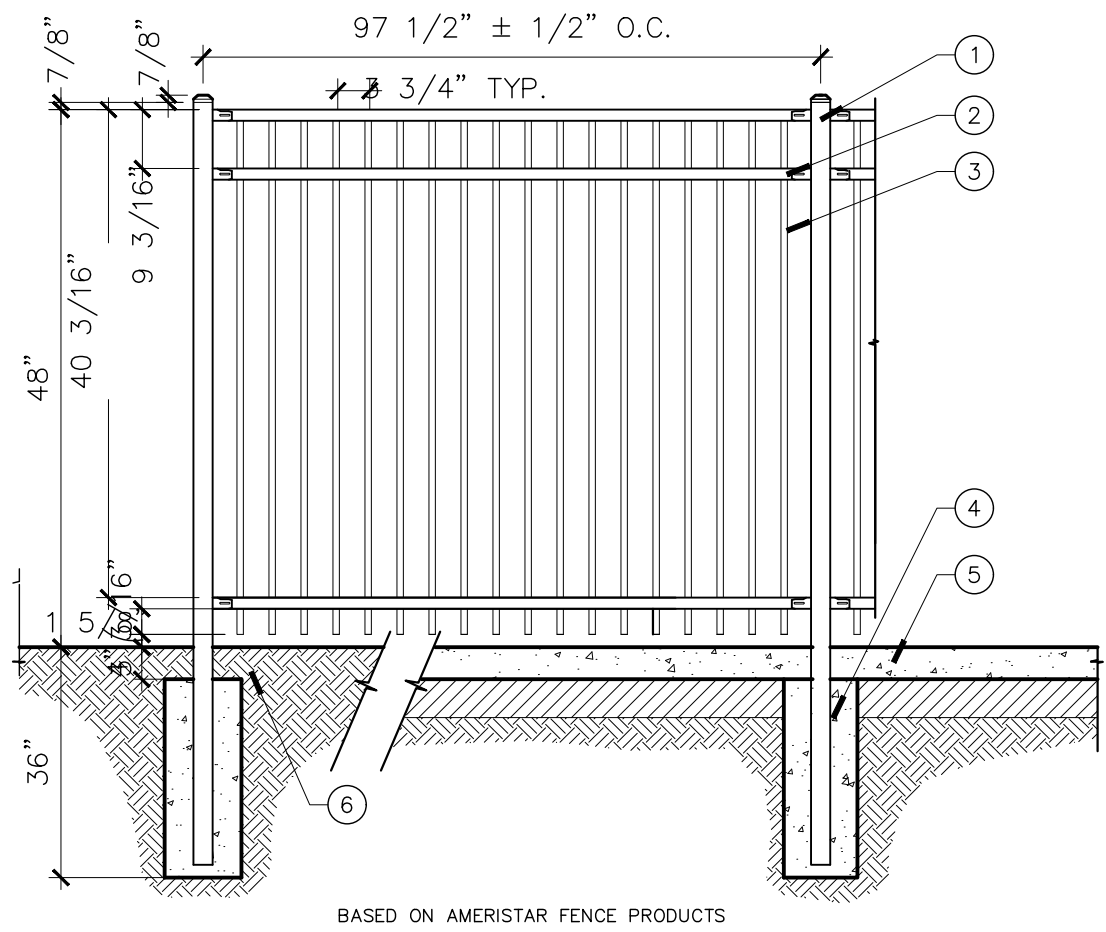
L CURB ACCESS RAMP N.T.S.



O STANDARD PARKING SPACE STRIPING N.T.S.



R TRASH ENCLOSURE DETAIL SCALE: 1"=5'

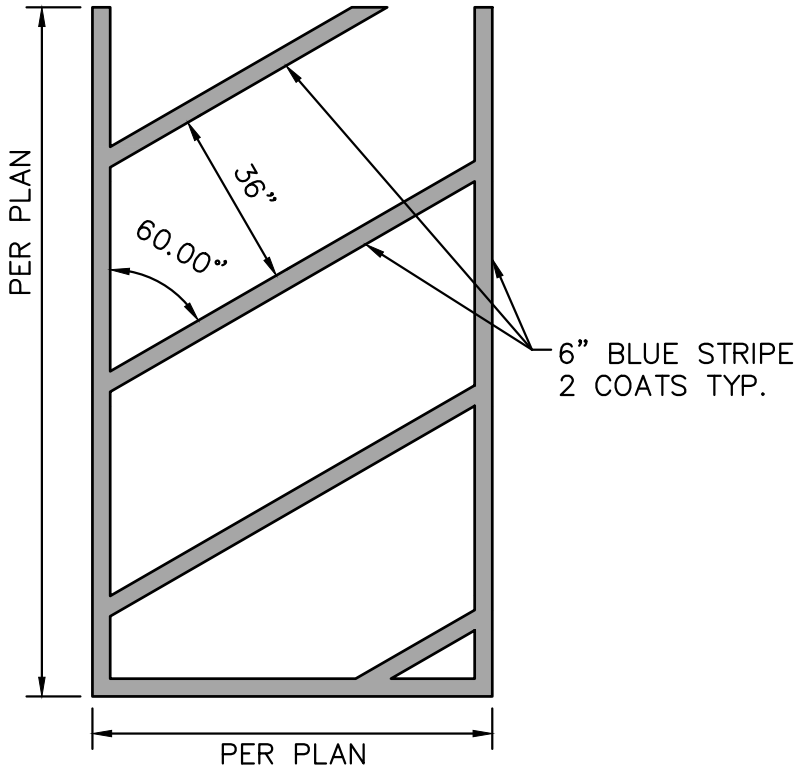


NOTES:
1. SUBMIT SHOP DRAWINGS AND MATERIALS TO ARCHITECT. COLOR TO BE SELECTED BY ARCHITECT.

- 1 3" SQUARE X 12 GAUGE POST
- 2 1 3/4" FORERUNNER™ RAIL
- 3 1" SQUARE X 14 GAUGE PICKET
- 4 CONCRETE FOOTING
- 5 ADJACENT PAVING TO GO OVER FOOTING
- 6 FINISHED GRADE TO COVER OVER FOOTING WHEN FENCE IS IN LANDSCAPED AREA

SEE BUILDING PLANS FOR STRUCTURAL DETAILS

M 4" METAL TUBE FENCE N.T.S.



NOTES:

1. ALL ACCESSIBLE COMPONENTS CONSTRUCTED AS PART OF THESE PLANS SHALL COMPLY WITH THE LOCAL, STATE, AND FEDERAL REGULATIONS WHICHEVER ARE MORE STRINGENT.
2. CROSS SLOPE OF THE ACCESSIBLE PATH SHALL BE LESS THAN 2%.
3. LONGITUDINAL SLOPE OF THE ACCESSIBLE PATH SHALL BE LESS THAN 5%.

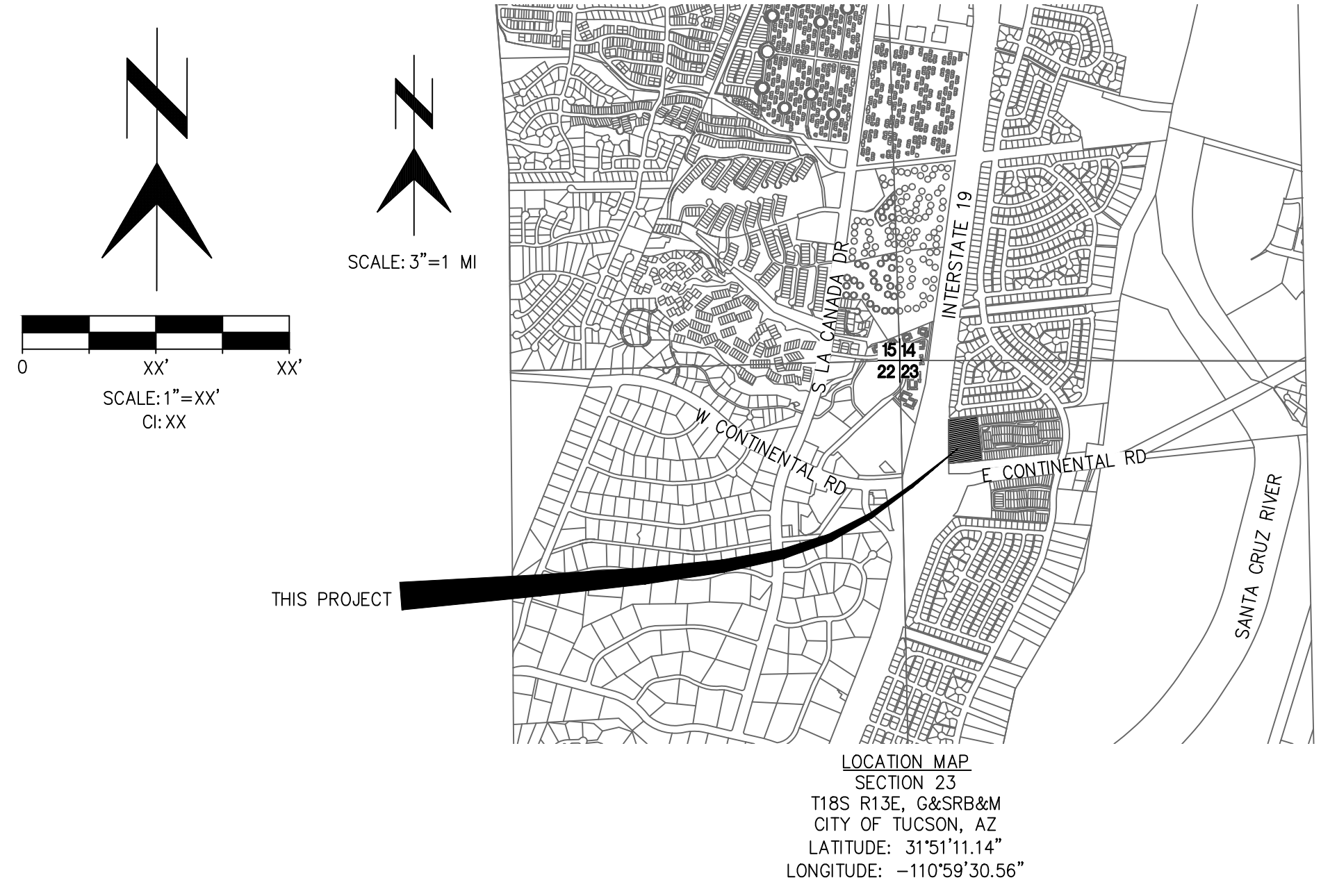
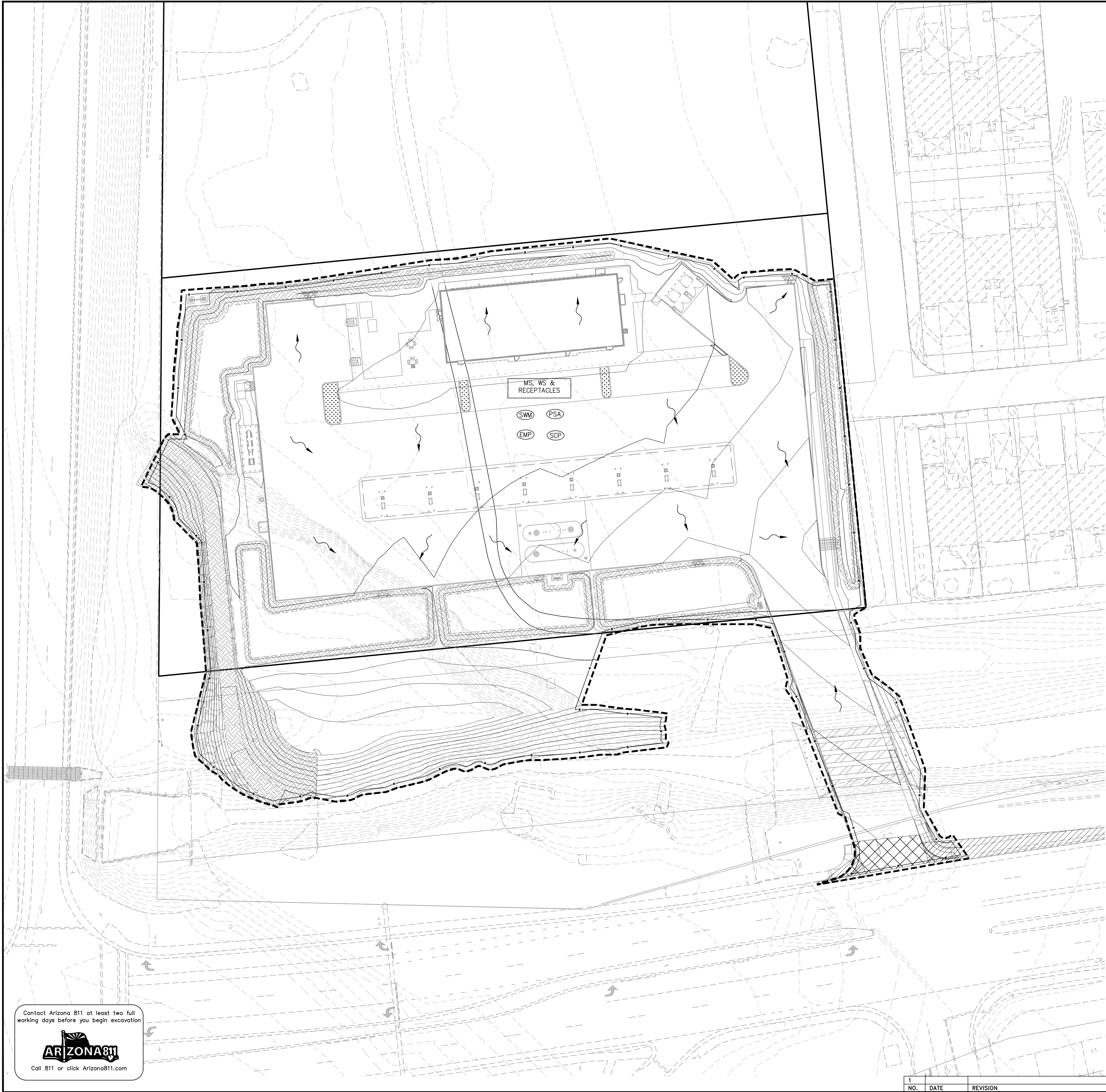
P ACCESSIBLE PATH OF TRAVEL STRIPING N.T.S.

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DETAIL SHEET 2	SCALE: N/A		SITE CONSTRUCTION PERMIT FOR CIRCLE K - CONTINENTAL & I19
Kimley»Horn			A PORTION OF THE SAN IGNACIO DE LA CANOA PRIVATE LAND GRANT, ACCORDING TO THE SURVEY OF SAID LAND GRANT MADE BY THE US SUEYOR GENERAL, ON MARCH 10, 1901 T18S, R15E OF THE GSRBM, PIMA COUNTY, AZ
C 2024 KIMLEY-HORN AND ASSOCIATES, INC. 3300 East Sunrise Drive, Suite 130 Tucson, Arizona 85718 (520) 615-9191		ADMINISTRATIVE ADDRESS: I-19 & CONTINENTAL RD, PIMA COUNTY, AZ	REFERENCE: X-XX-XXX
		PLAN NO. XX-XXX-XXXX-XXXX	10 OF 15



- LEGEND
- SCE STABILIZED CONSTRUCTION EXIT/ENTRANCE PER ES3
 - FLOW ARROW
 - ST SEDIMENT TRAP PER BMP SC-3 AND SC-4
 - CD CHECK DAM PER ES4
 - LIMITS OF DISTURBANCE
 - W.A. DESIGNATED WASHOUT AREA PER BMP WM-4 AND WM-5
 - MS, WS & RECEPTACLES DESIGNATED WASTE STORAGE (WS), MATERIAL STORAGE (MS) AND RECEPTACLE AREA PER BMP GH-5, GH-6, GH-7, AND GH-9
 - PS AREAS TO RECEIVE PERMANENT STABILIZATION
 - DC DUST CONTROL PER BMP NS-3
 - SWM SOLID WASTE MANAGEMENT PER BMP WM-1
 - EMP EQUIPMENT MAINTENANCE PROCEDURES PER BMP GH-1, GH-2, GH-3
 - PSA PROTECTED CHEMICAL AND MATERIALS STORAGE AREA PER BMP WM-2 AND WM-3
 - SCP SPILL CONTAINMENT PLAN PER GH-8
 - SW SEDIMENT WATTLE PER ES1
 - SL SEDIMENT LOG PER ES2

CONTRACTOR TO POST SWMP SITE PLAN, NOTES, AND DETAIL SHEETS AT JOB SITE AND MODIFY AS APPROPRIATE	
N.O.I. SUBMITTAL DATES:	
N.O.T. SUBMITTAL DATES:	

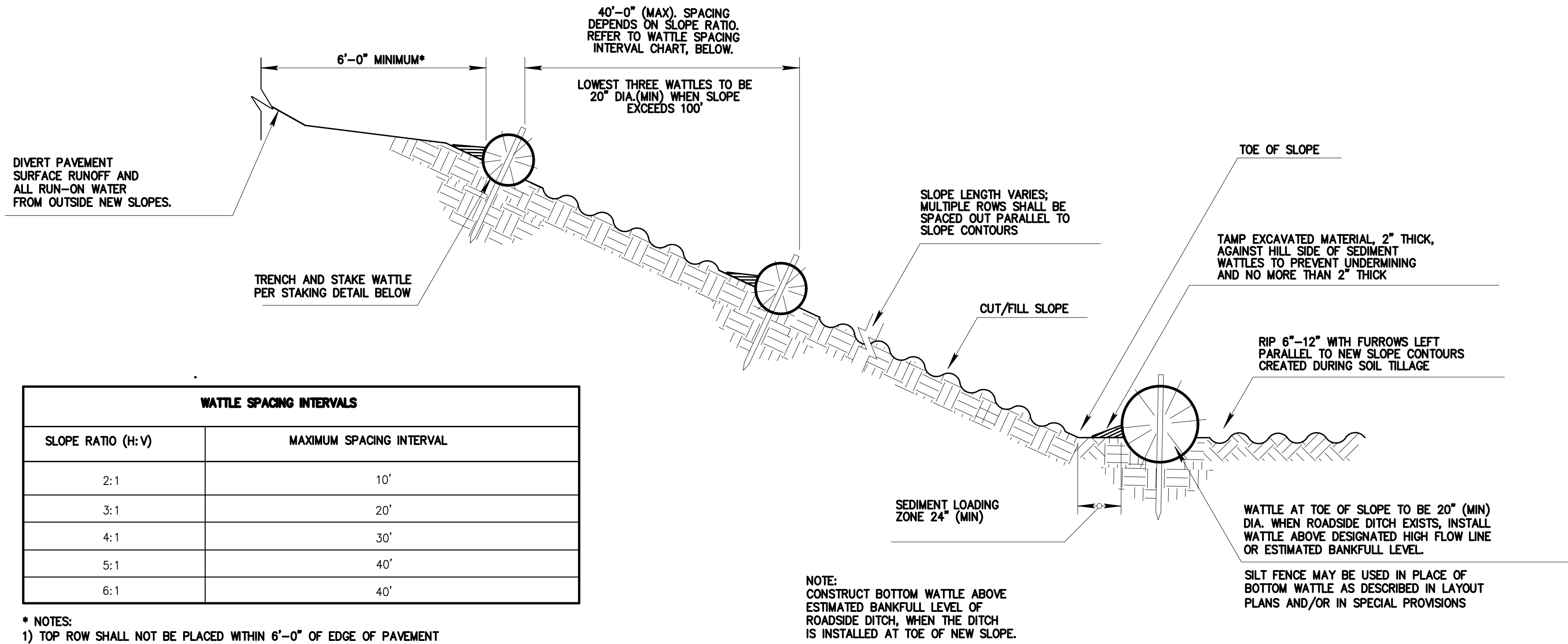
Contact Arizona 811 at least two full working days before you begin excavation

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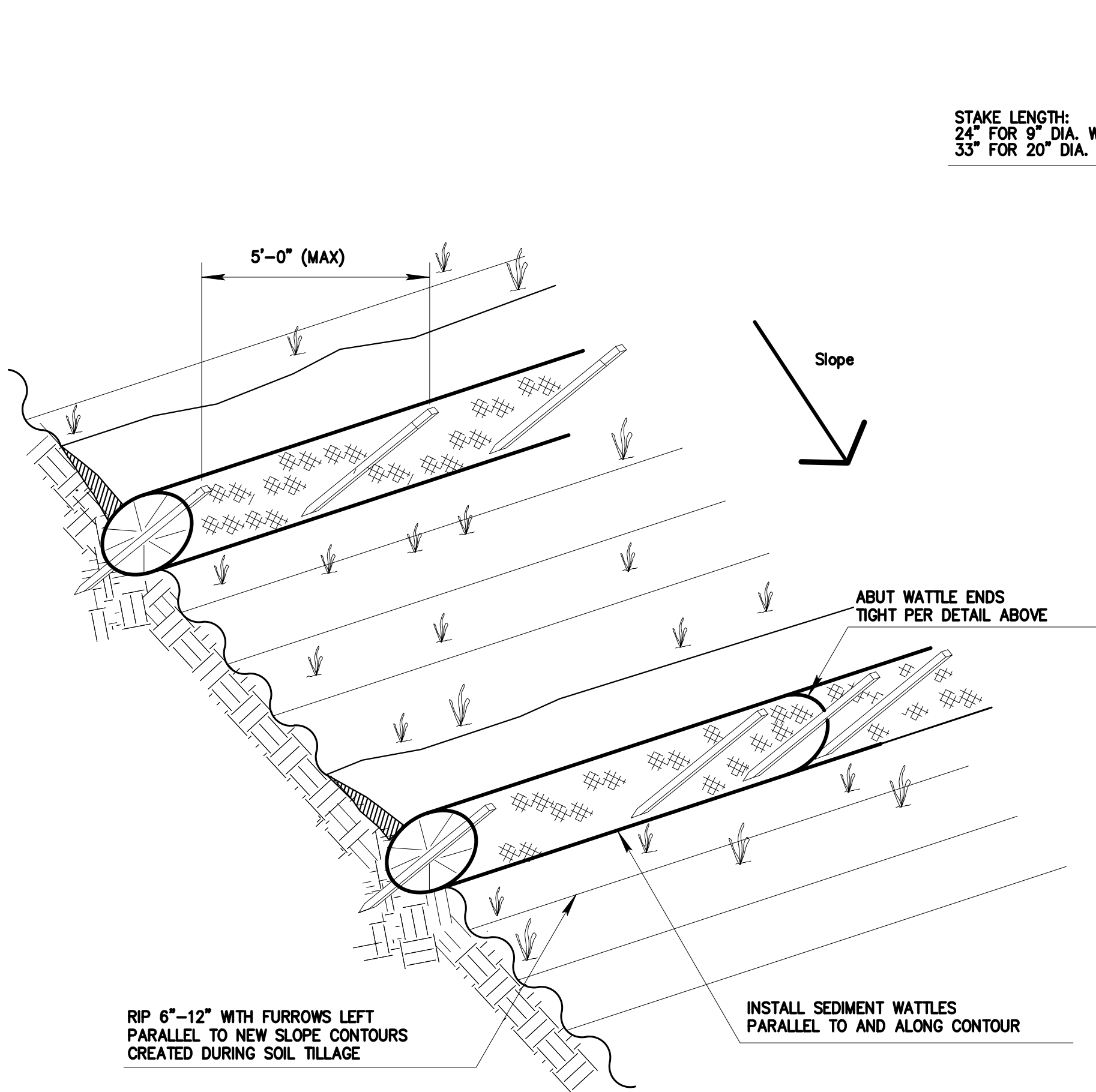
SWPPP	SCALE: 1" = 10'		SITE CONSTRUCTION PERMIT FOR CIRCLE K - CONTINENTAL & I19	
Kimley»Horn C 2024 KIMLEY-HORN AND ASSOCIATES, INC. 3300 East Sunrise Drive, Suite 130 Tucson, Arizona 85718 (520) 615-9191			A PORTION OF THE SAN IGNACIO DE LA CANOA PRIVATE LAND GRANT, ACCORDING TO THE SURVEY OF SAID LAND GRANT MADE BY THE US SUEYOR GENERAL, ON MARCH 10, 1901 T18S, R13E, OF THE GSRBM, PIMA COUNTY, AZ	
		ADMINISTRATIVE ADDRESS: I-19 & CONTINENTAL RD, PIMA COUNTY, AZ	REFERENCE: X-XX-XXX	
		PLAN NO. XX-XXX-XXXX-XXXXX		11 OF 15

NO.	DATE	REVISION
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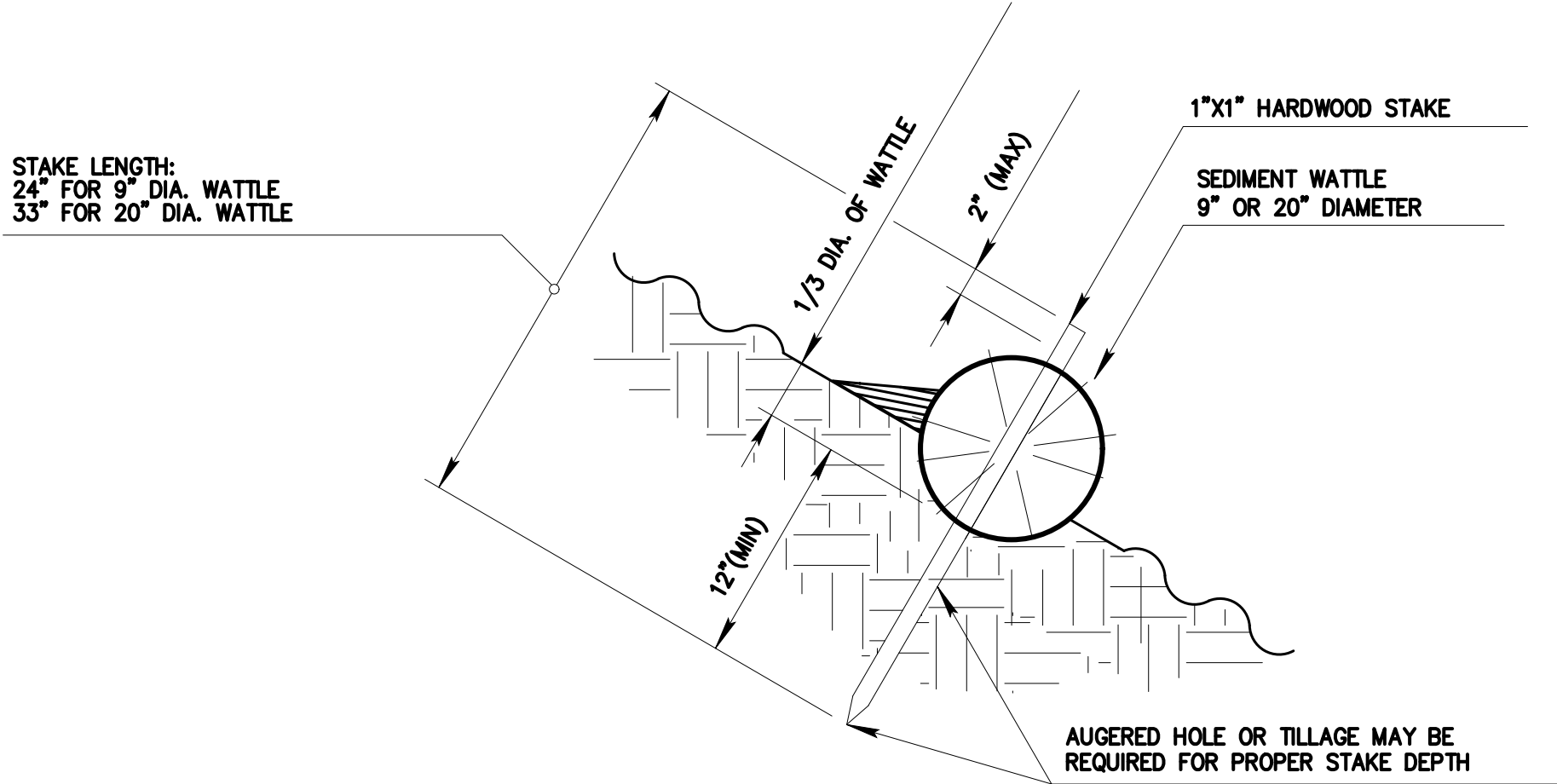


SECTION (NTS)

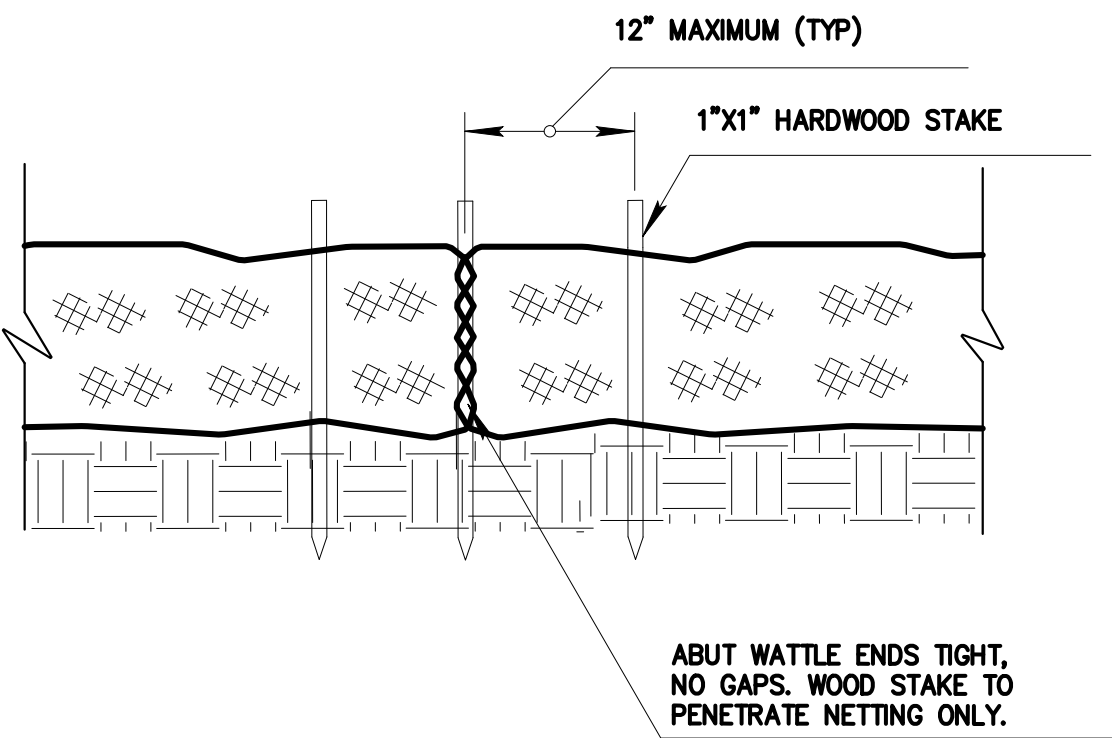
- NOTES:
- INSTALL SEDIMENT WATTLES AS SLOPES ARE CONSTRUCTED TO GRADE OR AS DIRECTED BY THE ENGINEER. SELECT, INSTALL AND MAINTAIN IN CONFORMANCE WITH MANUFACTURERS' SPECIFICATIONS TO MEET SITE CONDITIONS FOR SLOPE PROTECTION AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICES. NO SEDIMENT WATTLES SHALL BE INSTALLED IN URBAN FREEWAY MEDIANS, NOR WHERE CABLE BARRIER SYSTEMS ARE EMPLOYED.
 - SEDIMENT WATTLES SHALL BE IN CONTINUOUS CONTACT WITH TRENCH BOTTOM AND SIDES. DO NOT OVERLAP WATTLE ENDS ON TOP OF EACH OTHER. A 20" DIA WATTLE MAY BE MADE FROM 2-3 ROLLED EXCELSIOR OR STRAW BLANKETS.
 - BUTT ADJOINING WATTLES TIGHTLY AGAINST EACH OTHER. DRIVE THE FIRST END STAKE OF THE SECOND WATTLE AT AN ANGLE TOWARD THE FIRST WATTLE TO HELP ABUT THEM TIGHTLY.
 - REPAIR ANY RILLS OR GULLIES PROMPTLY. FIELD ADJUST AND CORRECT WATTLE BMP IMMEDIATELY IF IT IS CAUSING FLOODING, EROSION, AND/OR AFFECTING ROADWAY SAFETY.
 - CONSTRUCTION OF CUT SLOPES 2:1 AND STEEPER IN SOIL AND ROCK MATERIALS THAT CAN BE RIPPED SHALL BE CONSTRUCTED, WHENEVER POSSIBLE, BY MINIBENCHING. REFER TO SLOPE MINIBENCHING DETAIL. LOOSENING SURFACE SOIL IS NOT REQUIRED WHERE MINIBENCHING ARE USED. FOR SEEDED AREAS, TILLAGE SHALL BE PERFORMED TO FORM MINOR RIDGES AND FURROWS PARALLEL TO NEW SLOPE CONTOURS AND AS SPECIFIED IN SECTION 805 OF THE STANDARD SPECIFICATIONS.
 - DIVERT AND DIRECT RUN-ON WATER FROM OUTSIDE OF THE SLOPES TO THE SPILLWAYS AND/OR ROCK RIPRAP/ROCK MULCH. DIVERSION DIKES AND/OR DITCHES ARE NECESSARY ON NATURAL UNDISTURBED SLOPES BEYOND THE TOP LIMITS OF NEW SLOPES TO DIVERT RUN-ON WATER.
 - INSTALLATION AND MAINTENANCE OF SEDIMENT WATTLE BMPs SHALL NOT NEGATIVELY IMPACT TRAFFIC SAFETY, NOR THE DESIGNED FUNCTION OF ROADWAY OR BRIDGE DRAINAGE FACILITIES.
 - INSTALL AND MAINTAIN SEDIMENT WATTLE BMPs TO CARRY THE STORM WATER OF AT LEAST 2-YEAR, 24-HOUR EVENTS.
 - THE SEDIMENT WATTLE BMP'S PAY/BID ITEM SHALL INCLUDE ALL MATERIALS USED FOR THIS BMP: ALL GROUND PREPARATION, FURNISHING, INSTALLING, MAINTENANCE, FINAL REMOVAL, AND DISPOSAL OF THIS TEMPORARY BMP, AS WELL AS RETURNING THE AREA TO AN ACCEPTABLE CONDITION AS APPROVED BY THE ENGINEER.
 - REFER TO STANDARD SPECIFICATION SECTION 810-2.06(C) FOR SEDIMENT WATTLE MATERIAL SPECIFICATIONS.



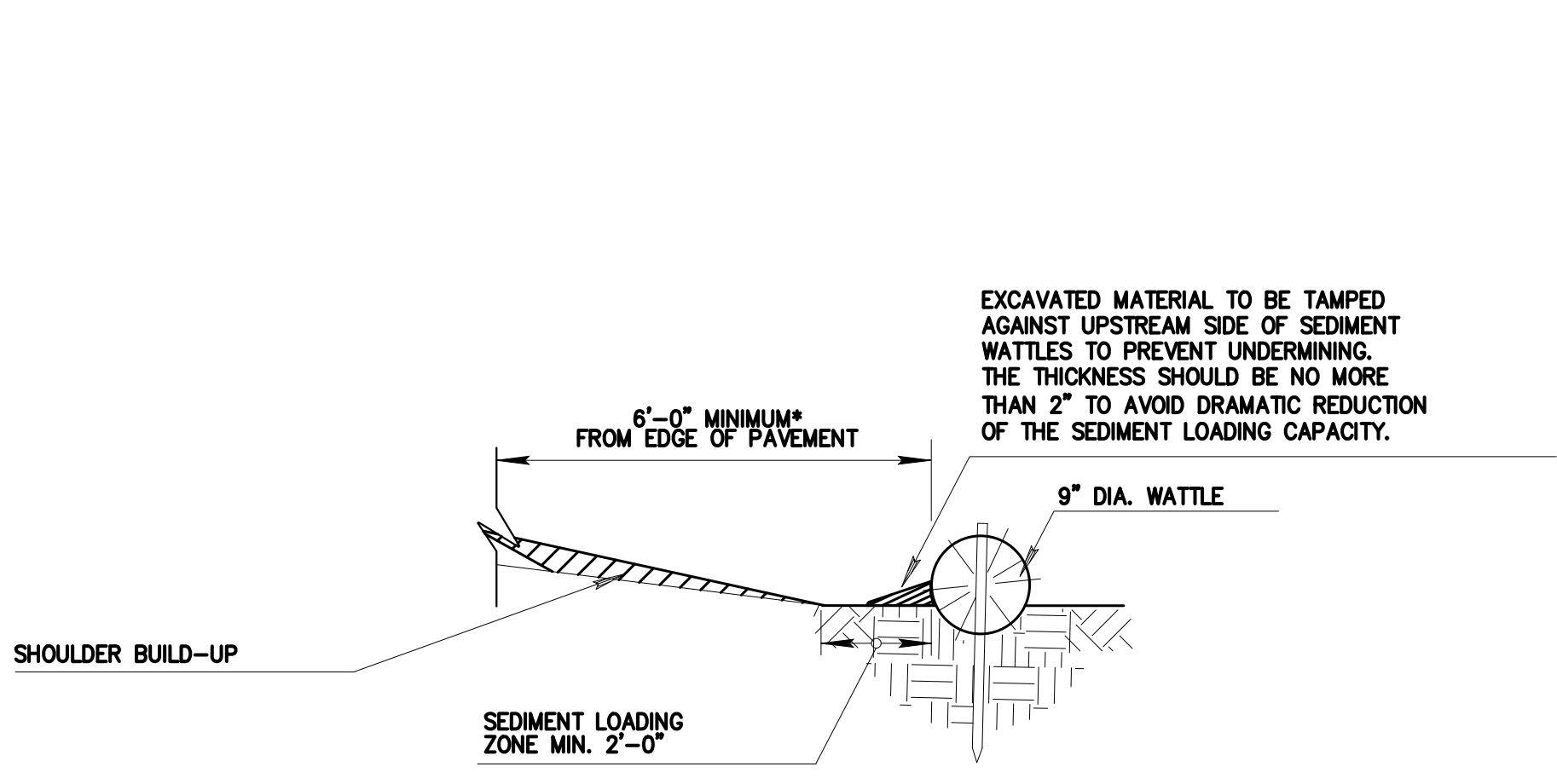
SEDIMENT WATTLE LAYOUT (NTS)



SEDIMENT WATTLE STAKING DETAIL (NTS)

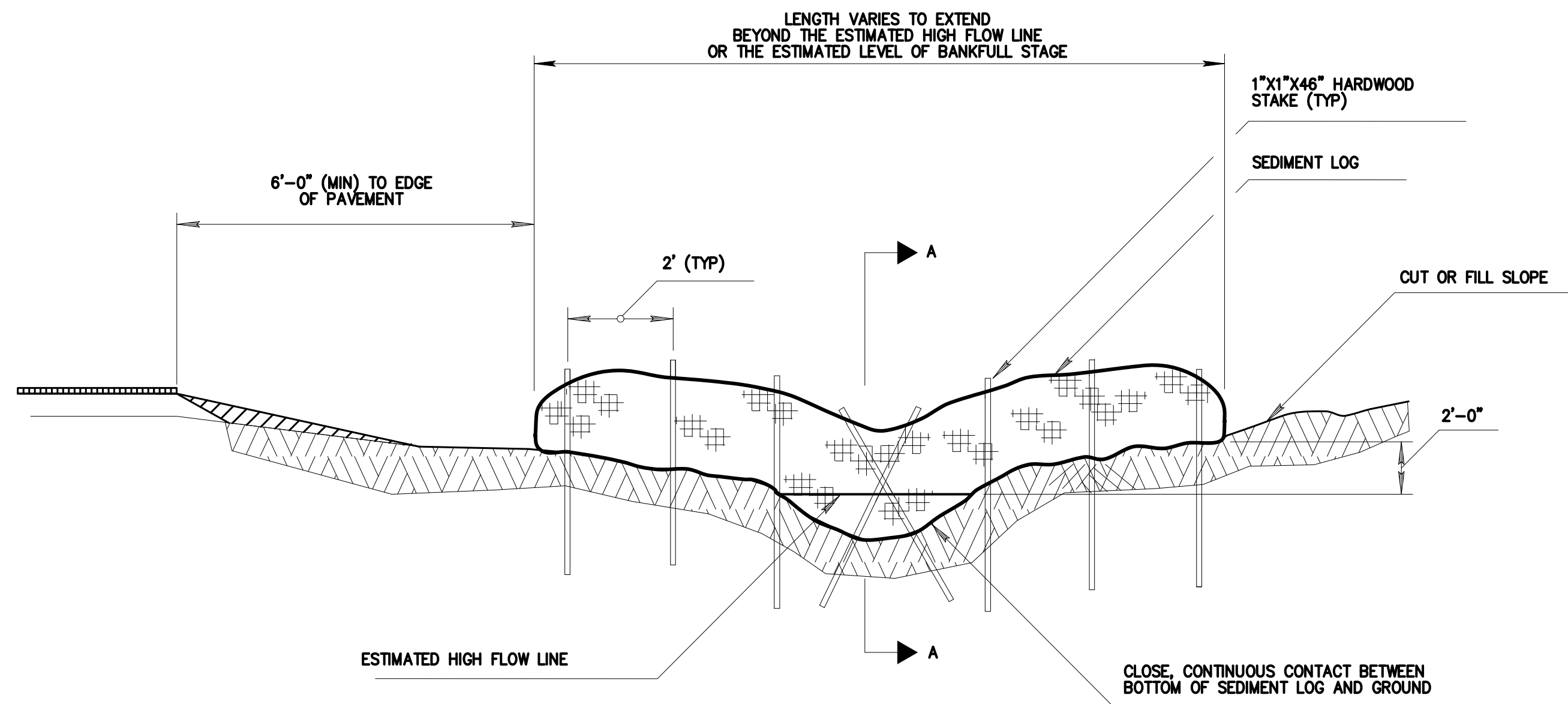


SEDIMENT WATTLE OVERLAP (NTS)

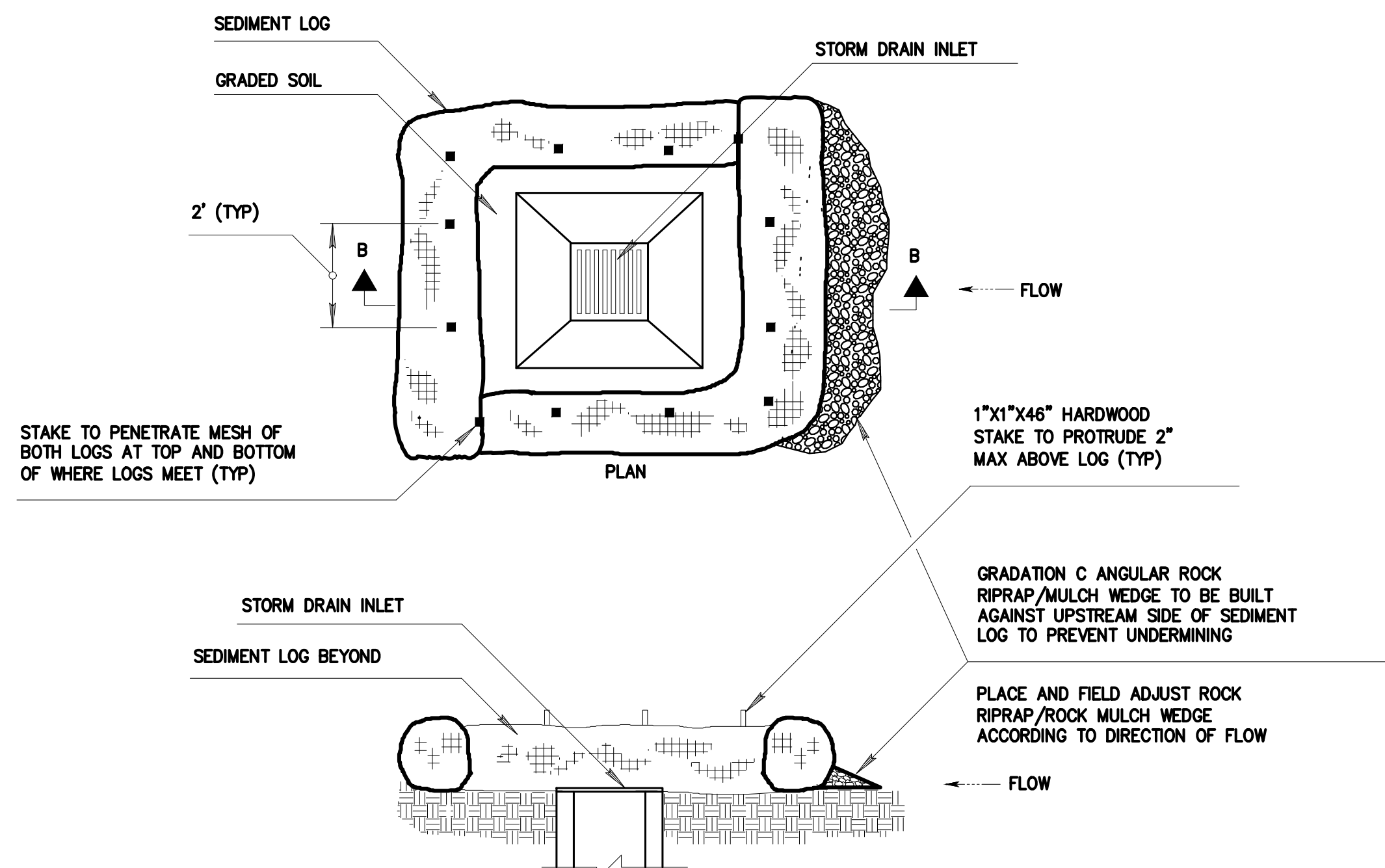


NEW SHOULDER BUILDUP PROTECTION SECTION (NTS)

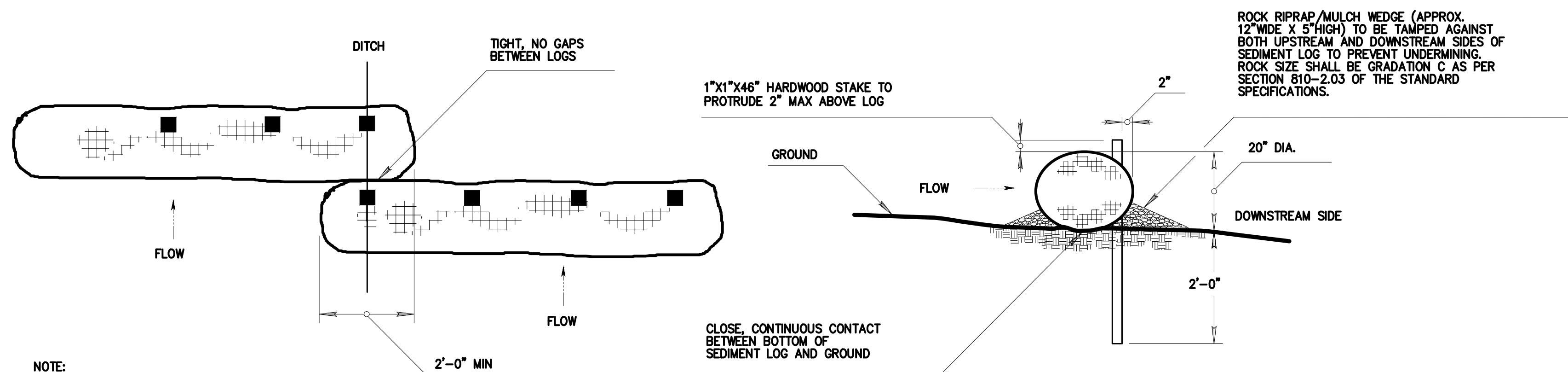
DETAIL ES1
SEDIMENT WATTLE



**SEDIMENT LOG IN DITCH/CHANNEL
SECTIONAL ELEVATION (NTS)**



**SEDIMENT LOG AT STORM DRAIN
SECTION B-B (NTS)**



**TYPICAL OVERLAP
PLAN (NTS)**

SECTION A-A (NTS)

- NOTES:**
1. LOCATE SEDIMENT LOGS AS INDICATED IN PLANS, SWPPP OR AS DIRECTED BY THE ENGINEER.
 2. SELECT, INSTALL AND MAINTAIN LOGS PER MANUFACTURERS' SPECIFICATIONS AND GOOD ENGINEERING PRACTICES.
 3. LAY SEDIMENT LOG ACROSS PREPARED DITCH OR CHANNEL. TRENCHING OR BURIAL OF SEDIMENT LOGS IS NOT REQUIRED. THE CLOSE, CONTINUOUS CONTACT BETWEEN THE BOTTOM OF THE LOG AND THE GROUND IS MANDATORY. THE LOGS SHALL BE INSTALLED IN THE DITCH, SWALE OR CHANNEL BOTTOM PERPENDICULAR TO THE FLOW OF WATER AS SHOWN ON DETAIL THIS SHEET.
 4. STAKE LOG AS SHOWN. STAKES SHALL BE PLACED THROUGH DOWNSTREAM SIDE ONLY AS SHOWN.
 5. DO NOT DRIVE STAKES THROUGH CENTER OF THE LOG. STAKES MUST BE DRIVEN INTO THE GROUND AS SHOWN.
 6. ENSURE THAT NO GAPS EXIST BETWEEN SOIL AND BOTTOM OF SEDIMENT LOG. REPAIR ANY RILLS OR UNDERCUTS PROMPTLY.
 7. PLACEMENT OF SEDIMENT LOGS SHALL BE EVALUATED BY THE ENGINEER IN ROCKY SOIL CONDITIONS.
 8. REMOVE SEDIMENT LOG BMPs WITHIN THE DITCHES/CHANNELS AND AROUND THE STORM DRAIN INLETS AS PER THE DIRECTION OF THE ENGINEER OR AS SOON AS PRACTICABLE UPON STABILIZATION OF THE CONSTRUCTION DISTURBED AREA.
 9. DISPOSE OF SEDIMENT LOGS AND TRAPPED SEDIMENT MATERIAL AND FILL TRENCH CREATED BY SEDIMENT LOG.
 10. THE INSTALLATION AND MAINTENANCE OF SEDIMENT LOG BMPs SHALL NOT NEGATIVELY IMPACT TRAFFIC SAFETY, NOR THE DESIGNED FUNCTION OF ROADWAY OR BRIDGE DRAINAGE FACILITIES. SEDIMENT LOGS SHALL BE INSTALLED AND MAINTAINED TO CARRY THE STORMWATER OF AT LEAST 2-YEAR, 24-HOUR EVENTS.
 11. FIELD ADJUST AND CORRECT SEDIMENT LOG BMP IMMEDIATELY IF IT IS CAUSING FLOODING, EROSION, AND/OR AFFECTING ROADWAY SAFETY.
 12. INSTALL ROCK MULCH/RIPPRAP FOR CHANNEL/DITCH LINING OR ROCK CHECK DAMS FOR LONGITUDINAL DITCH SLOPES THAT EXCEED 5% AND/OR FOR SOIL CONDITIONS NOT SUITABLE FOR LOG INSTALLATION.
 13. THE SEDIMENT LOG BMP'S PAY/BID ITEM SHALL INCLUDE ALL MATERIALS USED FOR THIS BMP: ALL GROUND PREPARATION, FURNISHING, INSTALLING, MAINTENANCE, FINAL REMOVAL AND DISPOSAL, AS WELL AS RETURNING THE AREA TO AN ACCEPTABLE CONDITION AS APPROVED BY THE ENGINEER.
 14. REFER TO STANDARD SPECIFICATION SECTION 810-2.06(B) FOR SEDIMENT LOG MATERIAL SPECIFICATIONS.

DETAIL ES2 SEDIMENT LOG




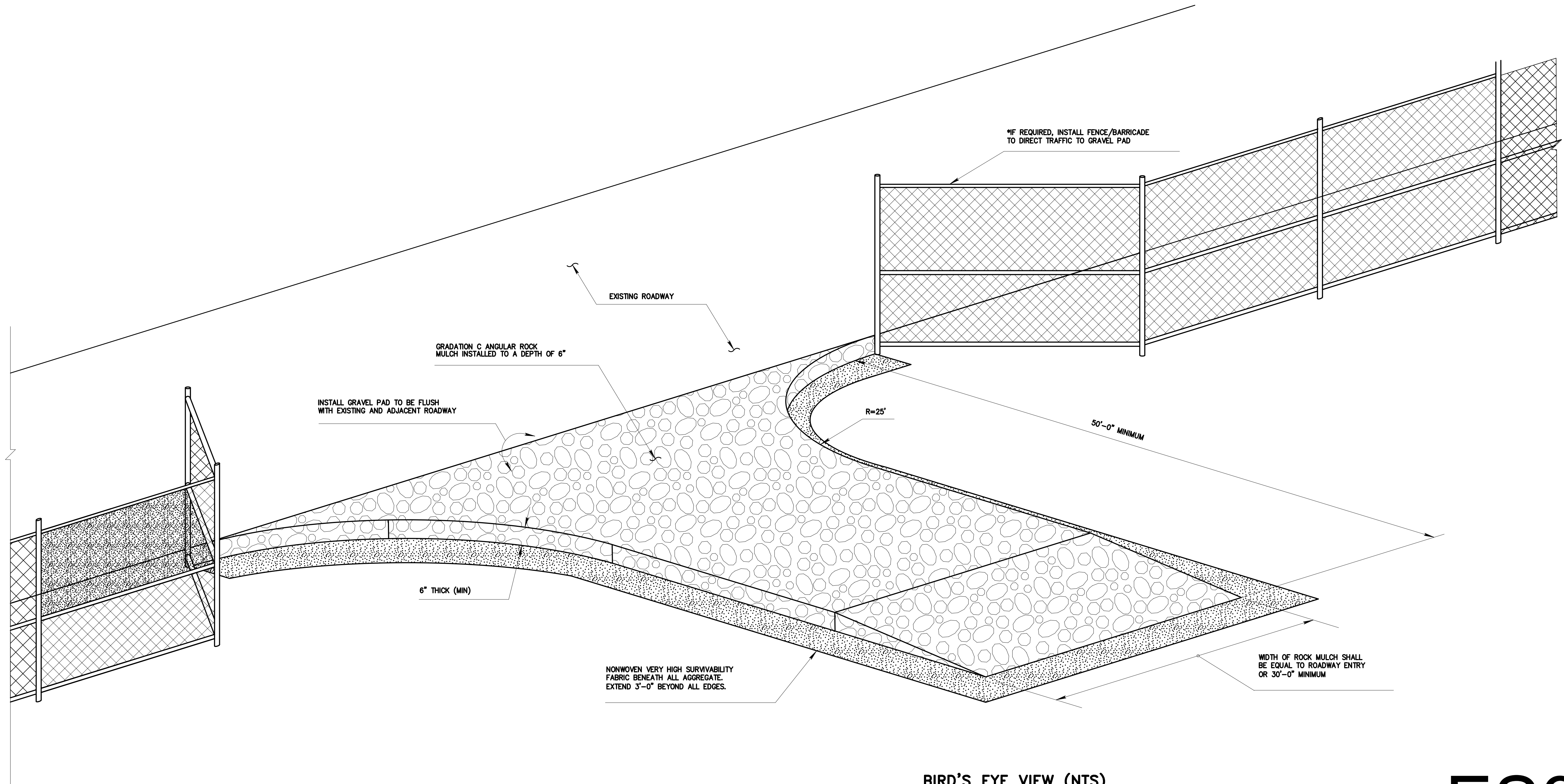
Contact Arizona 811 at least two full working days before you begin excavation



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NOTE:
OVERLAP APPLIES TO SITUATIONS WHERE DITCH/CHANNEL IS WIDER THAN LENGTH OF SINGLE SEDIMENT LOG. TWO OR MULTIPLE SEDIMENT LOGS MAY BE NECESSARY.

SWPPP DETAILS 2		SCALE: N/A			SITE CONSTRUCTION PERMIT FOR CIRCLE K - CONTINENTAL & I19	
<div>Kimley»Horn</div> <div>C 2024 KIMLEY-HORN AND ASSOCIATES, INC. 3300 East Sunrise Drive, Suite 130 Tucson, Arizona 85718 (520) 615-9191</div>					<div>A PORTION OF THE SAN IGNACIO DE LA CANOA PRIVATE LAND GRANT, ACCORDING TO THE SURVEY OF SAID LAND GRANT MADE BY THE US SUEYOR GENERAL, ON MARCH 10, 1901 T18S, R13E OF THE GSRM, PIMA COUNTY, AZ</div> <div>ADMINISTRATIVE ADDRESS: 1-19 & CONTINENTAL RD, PIMA COUNTY, AZ</div> <div>PLAN NO. XX-XXX-XXXX-XXXXX</div>	
					REFERENCE: X-XX-XXX	13 OF 15




BIRD'S EYE VIEW (NTS)

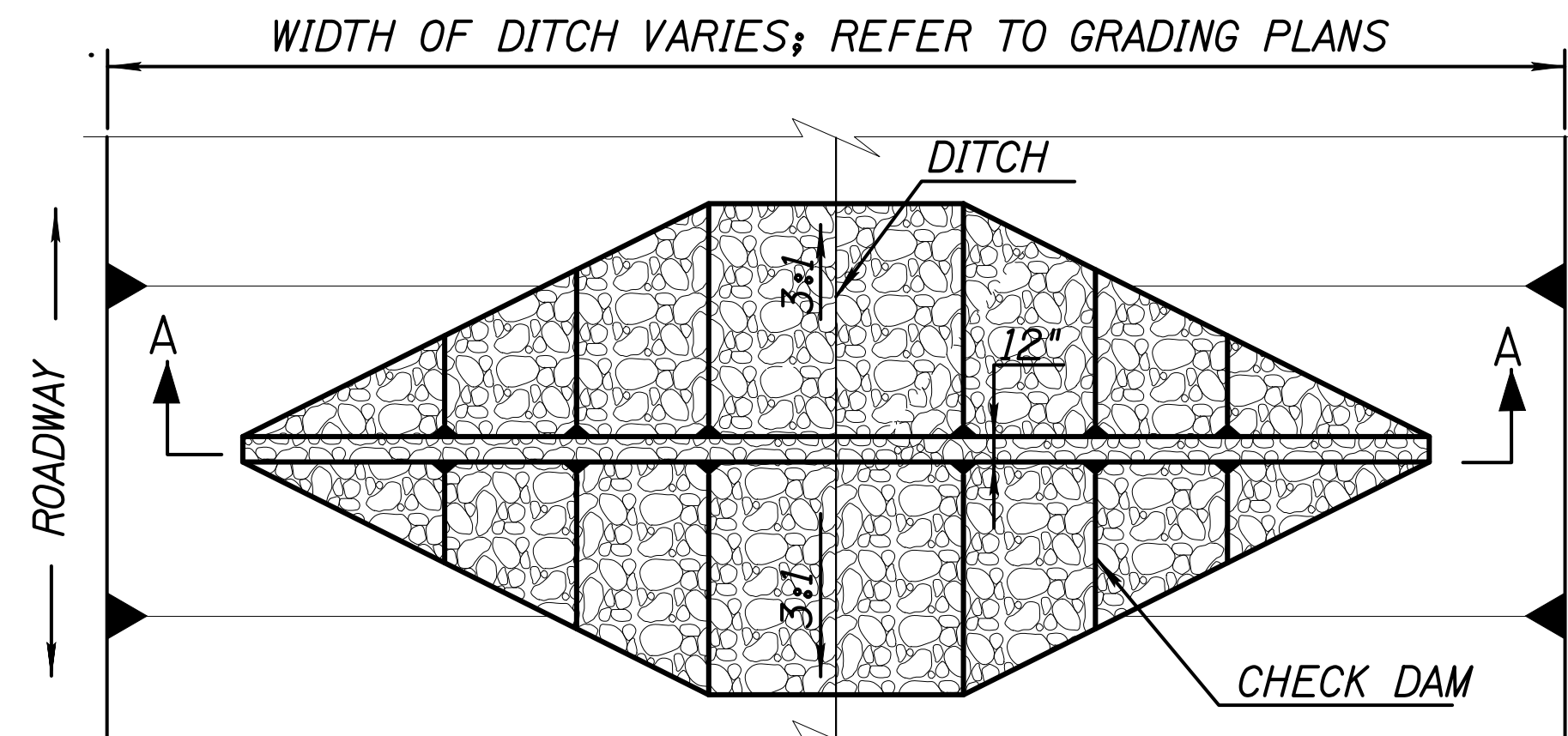
DETAIL ES3

STABILIZED CONSTRUCTION ENTRANCE/EXIT GRAVEL PAD

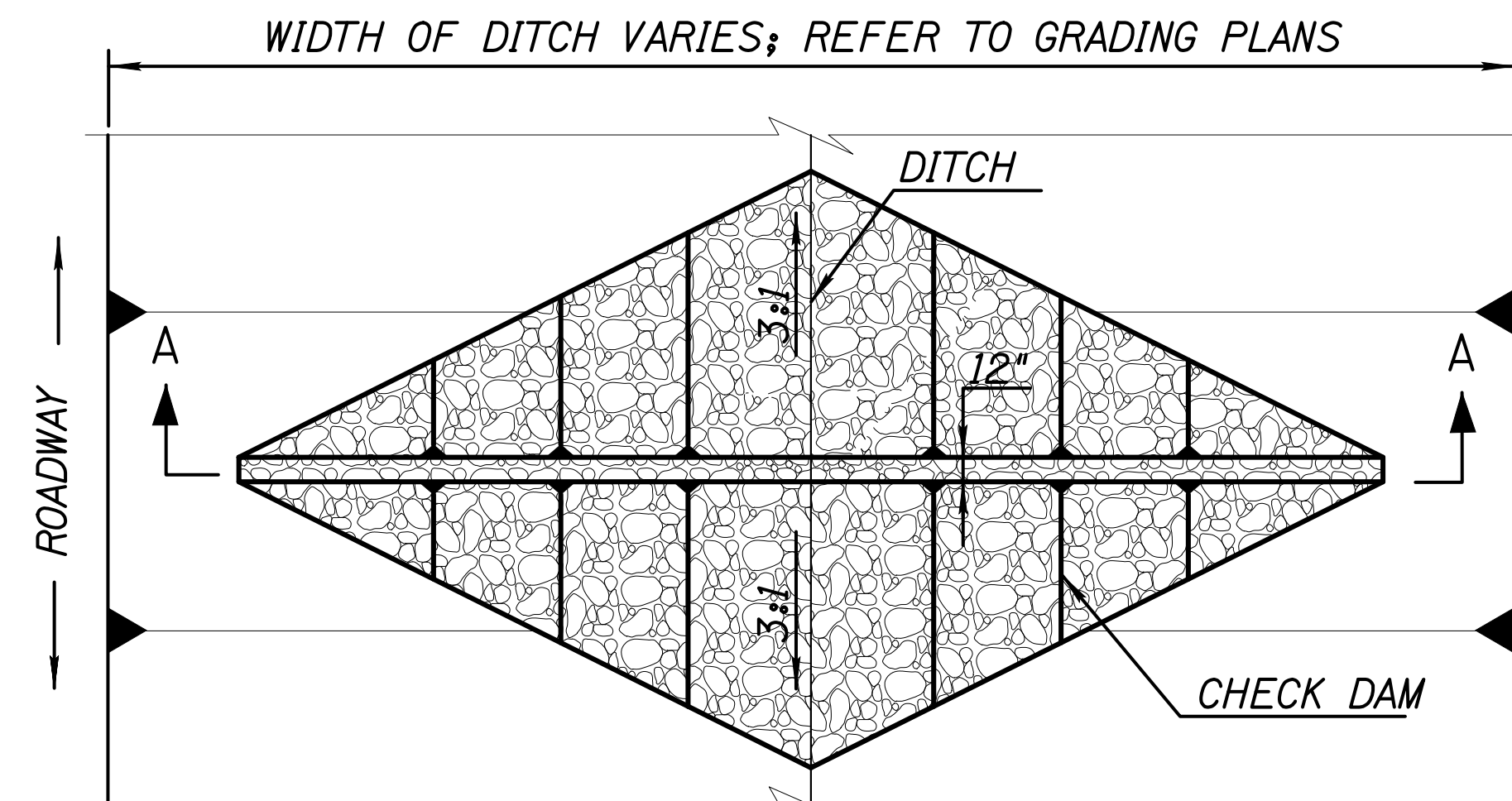
- NOTES:
1. INSTALL STABILIZED CONSTRUCTION ENTRANCE/EXIT GRAVEL PAD BMP FOR TRAFFIC ENTERING OR EXITING A CONSTRUCTION SITE WHERE SEDIMENTATION, CLAY, SILT OR OTHER POLLUTANTS CAN BE TRACKED ONTO PUBLIC ROADS AND/OR ADJACENT WATER BODIES, AS APPROVED BY THE ENGINEER. IT MAY ALSO BE APPLIED FOR CONSTRUCTION ENTRANCE/EXIT WIND EROSION/DUST CONTROL, AS APPROVED BY THE ENGINEER.
 2. LOCATE NEW CONSTRUCTION ENTRANCE(S)/EXIT(S) AT APPROPRIATE PROJECT ENTRANCE/EXIT POINTS AS DETERMINED IN FIELD WITH THE APPROVAL OF THE ENGINEER. RELOCATE STABILIZED CONSTRUCTION ENTRANCE/EXIT GRAVEL PAD BMP AS NEEDED AS PROJECT PROGRESSES. REPLACE ROCK MULCH MATERIALS IN DRIVE PATHS WHEN DIRT OR MUD ACCUMULATES.
 3. NONWOVEN VERY HIGH SURVIVABILITY FABRIC SHALL CONFORM TO THE STANDARDS OF SUB-SECTION 1014-4.04 OF THE STANDARD SPECIFICATIONS.
 4. ROCK MULCH MATERIALS SHALL BE FRACTURED/CRUSHED ROCKS IN ANGULAR SHAPE AND AS DEFINED IN THE SUB-SECTION 810-2.03 OF THE STANDARD SPECIFICATIONS. NATURAL RIVER-RUN MATERIALS, ESPECIALLY ROUNDED NATURAL RIVER ROCKS ARE NOT ACCEPTABLE.
 5. FIELD ADJUST AND CORRECT CONSTRUCTION ENTRANCE/EXIT GRAVEL PAD BMP IMMEDIATELY IF IT IS CAUSING FLOODING AND/OR AFFECTING ROADWAY SAFETY.
 6. WHEN PAID SEPARATELY, THE STABILIZED CONSTRUCTION ENTRANCE/EXIT GRAVEL PAD BMP'S PAY/BID ITEM SHALL INCLUDE ALL MATERIALS USED FOR THIS BMP: ALL GROUND PREPARATION, FURNISHING, INSTALLING, FINAL REMOVAL, AND DISPOSAL OF THIS TEMPORARY BMP, AS WELL AS RETURNING THE AREA TO AN ACCEPTABLE CONDITION AS APPROVED BY THE ENGINEER.
 7. *FENCE/BARRICADE PAY/BID ITEM SHALL NOT BE INCLUDED AS A COMPONENT OF THE STABILIZED CONSTRUCTION ENTRANCE/EXIT GRAVEL PAD BMP PAY/BID ITEM.

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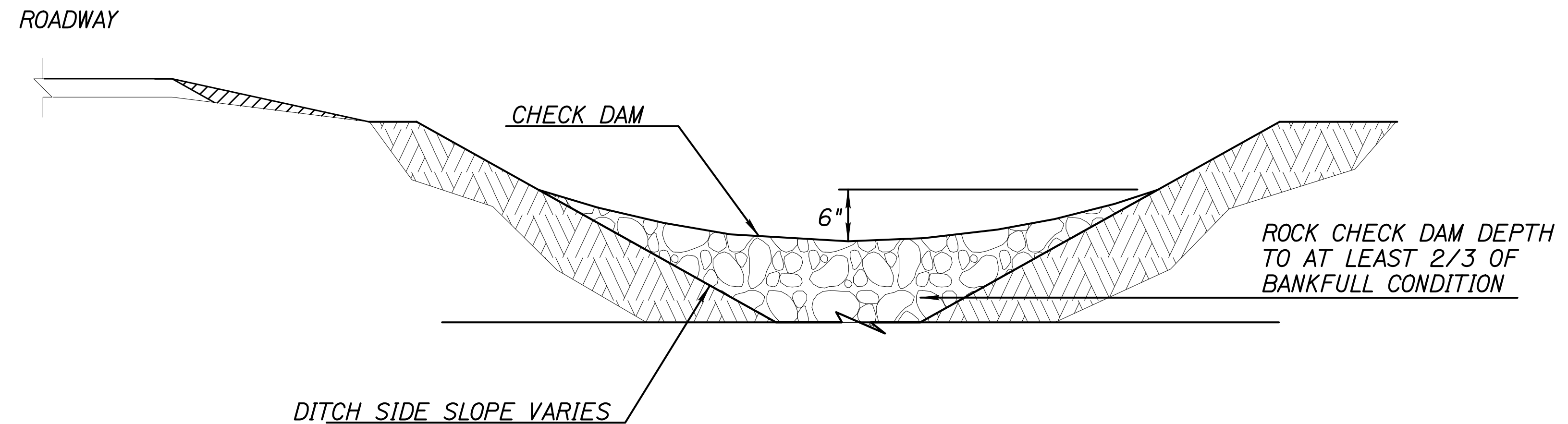
SWPPP DETAILS 3	SCALE: N/A		SITE CONSTRUCTION PERMIT FOR CIRCLE K - CONTINENTAL & I19
Kimley»Horn			A PORTION OF THE SAN IGNACIO DE LA CANOA PRIVATE LAND GRANT, ACCORDING TO THE SURVEY OF SAID LAND GRANT MADE BY THE US SUEYOR GENERAL, ON MARCH 10, 1901 T18S, R13E OF THE GSRBM, PIMA COUNTY, AZ
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			REFERENCE: X-XX-XXX
			PLAN NO. XX-XXX-XXXX-XXXXX
			14 OF 15



TRAPEZOIDAL DITCH PLAN (NTS)



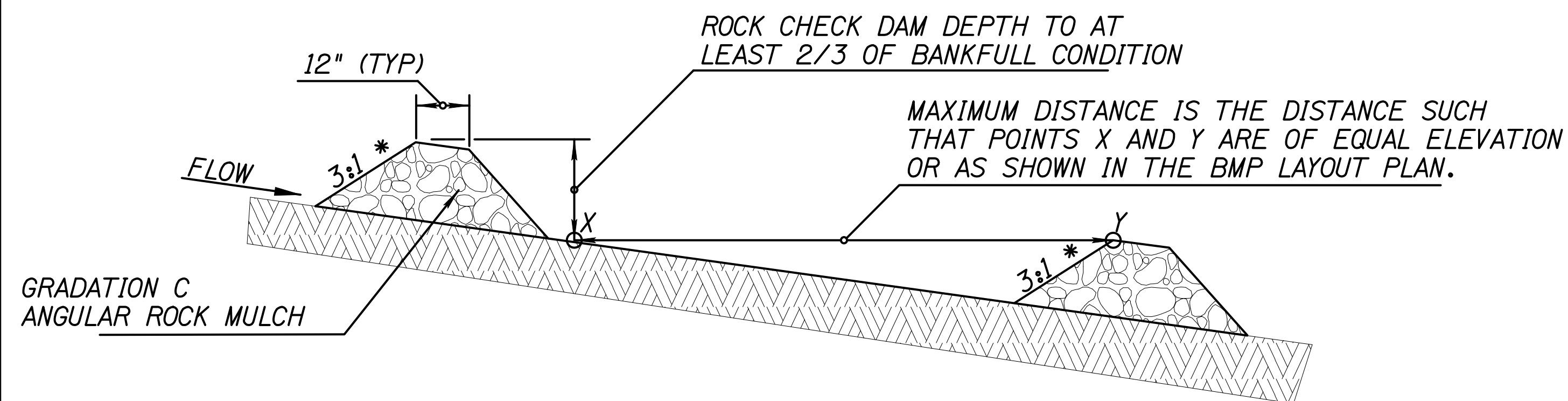
V-DITCH PLAN (NTS)



SECTION A-A
TRAPEZOIDAL- OR V-DITCH
(NTS)

NOTES:

1. CONSTRUCT ROCK CHECK DAMS WITH ANGULAR-SHAPED GRADATION C ROCK MULCH AS DEFINED IN SECTION 810-2.03 OF THE STANDARD SPECIFICATIONS AND THESE SPECIAL PROVISIONS. NATURAL RIVER-RUN MATERIAL SUCH AS ROUNDED RIVER ROCKS/COBBLESTONES AND PEBBLES ARE NOT ACCEPTABLE.
2. * SLOPE SHALL BE 1(V) : 6(H) OR FLATTER IF CHECK DAM IS WITHIN THE TRAFFIC CLEAR ZONE/RECOVERY AREAS AS DEFINED IN ADOT ROADWAY DESIGN GUIDELINES (303.2 TO 303.3 ROADSIDE RECOVERY AREA).
3. MAKE FIELD ADJUSTMENTS OF SIZING AND SPACING OF ROCK CHECK DAMS AS NECESSARY FOR TRAFFIC SAFETY AS WELL AS PROPER FUNCTIONING OF THE DRAINAGE FACILITIES.
4. FLATTEN AND RE-GRADE ROCK CHECK DAMS TO THE FINISHED GRADE, LEVEL WITHIN THE DITCH, AS SOON AS PRACTICABLE AFTER FINAL STABILIZATION.
5. MAKE FIELD ADJUSTMENTS AND CORRECTIONS OF ROCK CHECK DAM BMP IMMEDIATELY IF IT IS CAUSING FLOODING, EROSION, AND/OR AFFECTING ROADWAY SAFETY.
6. MAKE FIELD ADJUSTMENTS TO ENSURE THE TOP OF THE ROCK CHECK DAM IS APPROXIMATELY 2/3 HEIGHT OF THE ESTIMATED DITCH BANKFULL LEVEL.
7. WHEN PAID SEPARATELY, THE ROCK CHECK DAM BMP PAY/BID ITEM SHALL INCLUDE ALL MATERIALS USED FOR THIS BMP: ALL GROUND PREPARATION, FURNISHING, INSTALLING, MAINTENANCE, FLATTENING/GRADING BACK TO THE FINISHED GRADE, AS WELL AS RETURNING THE AREA TO AN ACCEPTABLE CONDITION AS APPROVED BY THE ENGINEER.
8. MAKE FIELD ADJUSTMENTS AND CORRECTIONS TO ENSURE NO SENSITIVE BIOLOGICAL RESOURCES (NATIVE SPECIES / HABITATS) WILL BE ADVERSELY IMPACTED.



ELEVATION ALONG DITCH SLOPE
(NTS)


DETAIL **ES4**
ROCK CHECK DAM

Contact Arizona 811 at least two full working days before you begin excavation



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1		
NO.	DATE	REVISION

SWPPP DETAILS 4		SCALE: N/A		SITE CONSTRUCTION PERMIT FOR CIRCLE K - CONTINENTAL & I19	
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				ADMINISTRATIVE ADDRESS: 1-19 & CONTINENTAL RD, PIMA COUNTY, AZ	REFERENCE: X-XX-XXX
				PLAN NO. XX-XXX-XXXX-XXXXX	15 OF 15